



Zoning Administrator Hearing

Alexis Oropeza, Hearing Officer

Monday, April 26, 2021
Via Teleconference
2:00 p.m.

ZONING ADMINISTRATOR HEARING VIA TELECONFERENCE PURSUANT TO EXECUTIVE ORDER N-29-20 ISSUED BY GOVERNOR GAVIN NEWSOM

For information on how participate in this meeting, visit:
www.longbeach.gov/lbds/planning/current/zoning/administrator

CONSENT CALENDAR

- 1. Application No. 2101-01 (LLA 21-011)**
(Amy Harbin, Project Planner)

5900 Cherry Avenue
(District 9)

Request to adjust the horizontal (east-west) lot line between Lots 13 and 14 of the Co-Operative Colony Tract as per the Map in Book 12, Page 15 of Miscellaneous Records in the Office of the County Recorder in the County of Los Angeles, State of California, which total approximately 18.64 acres (9.32 acres each) so that the adjusted lots will have approximately 4.51 acres (Parcel B - Lot 13) and approximately 14.14 acres (Parcel A – Lot 14) in accordance with the submitted plans within the General Industrial (IG) Zoning District.

This project qualifies for a categorical exemption per Section 15305 (Minor Alternation in Land Use Limitations) of the California Environmental Quality Act Guidelines.

REGULAR AGENDA

- 2. Application No. 2102-32 (LCDP 21-009)**
(Maryanne Cronin, Project Planner)

75 Rivo Alto Canal
(District 3)

Request for a Local Coastal Development Permit (LCDP) to find the demolition of an existing two-car garage, exterior/interior remodel, conversion of 64 square feet of interior space to a second floor deck, and construction of additions (107 square feet of living space) to an existing two-story, single-family dwelling located at 75 Rivo Alto Canal in the R-1-S Zoning District consistent with the Local Coastal Program (LCP) and the Coastal Act. The project would result in a two-story, 2,605-square-foot single-family dwelling with an attached two-car garage (598 square feet) and second floor deck (64 square feet).

This project qualifies for a categorical exemption per Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines. (CE-21-033)

Suggested Action: Approve, subject to conditions.

ATTACHMENTS:

- ZA ITEM 1 - 5900 Cherry Avenue - Plans
- ZA ITEM 2 - 75 Rivo Alto Canal - Plans

To request this information in an alternative format or to request a reasonable accommodation, please contact the Development Services Department at longbeach.gov/lbds and 562.570.3807. A minimum of three business days is requested to ensure availability; attempts will be made to accommodate requests with shorter notice.

LOT LINE ADJUSTMENT NO. _____
EXHIBIT "B"

BEING AN ADJUSTMENT OF LOTS 13 AND 14 OF CO-OPERATIVE COLONY TRACT AS PER MAP RECORDED IN BK 21, PG 15 OF MISC RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

PROJECT INFORMATION:

SITE ADDRESS: 5900 CHERRY AVENUE
LONG BEACH, CA 90805

APN: 7119-018-024 & 7119-018-028

SITE SIZE: 18.65 ACRES (GROSS), MORE OR LESS

LAND USE DESIGNATION: GENERAL INDUSTRY

ZONING: (IG) INDUSTRIAL
SEE CITY OF LONG BEACH ORDINANCE

WATER: CITY OF LONG BEACH

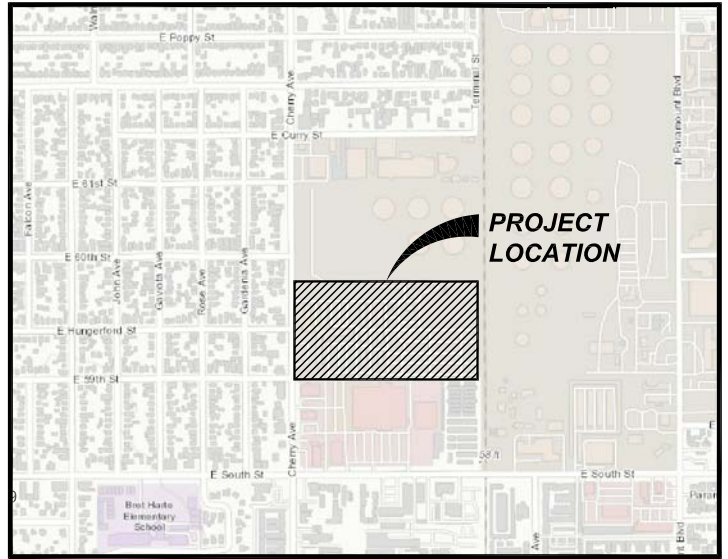
SEWER: CITY OF LONG BEACH

GAS: CITY OF LONG BEACH

TELEPHONE: FRONTIER COMMUNICATIONS
CHARTER COMMUNICATIONS

DRAINAGE: CITY OF LONG BEACH

TOTAL AREA: 18.65 ACRES (NET)



VICINITY MAP
NO SCALE

OWNERS:

PACIFIC PIPELINE SYSTEMS LLC
5900 CHERRY AVENUE
LONG BEACH, CA 90805

LAND SURVEYOR:

LANDMARK SURVEYING AND ENGINEERING, INC.
4208 ROSEDALE HIGHWAY, #302-301
BAKERSFIELD, CA 93308
(661) 859-1923
CONTACT: MICHAEL DAUSTER
mdauster@landmarkse.com

MICHAEL E. DAUSTER, P.L.S. 9047

11/30/2020
DATE



LOT LINE ADJUSTMENT NO. _____
EXHIBIT "B"

EASEMENTS:

- △₂ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
- GRANTED TO: UNION OIL COMPANY OF CALIFORNIA
PURPOSE: PIPE LINE FOR THE TRANSPORTATION OF OIL, GAS OR OTHER SUBSTANCES WITH THE RIGHT OF INGRESS AND EGRESS
RECORDING NO: IN BOOK 4058, PAGE 319 OFFICIAL RECORDS
AFFECTS: THE NORTHERLY THREE (3) FEET OF SAID LOT THIRTEEN (13)
- △₃ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
- GRANTED TO: UNION OIL COMPANY
PURPOSE: PIPE LINE FOR THE TRANSPORTATION OF OIL, GAS OR OTHER SUBSTANCES WITH THE RIGHT OF INGRESS AND EGRESS
RECORDING NO: IN BOOK 5141, PAGE 318 OFFICIAL RECORDS
AFFECTS: THE NORTHERLY THREE (3) FEET OF SAID LOT THIRTEEN (13)
- △₆ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
- GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION,
PURPOSE: CONSTRUCT, USE, MAINTAIN, ALTER, ADD TO, REPAIR, REPLACE, INSPECT AND/OR REMOVE BUILDINGS, STRUCTURES, POLES, TOWERS, TRANSFORMERS, FENCES, CONCRETE PADS AND OTHER FIXTURES, APPLIANCES AND PROPERTY FOR THE MAINTENANCE AND OPERATION OF AN ELECTRICAL SUBSTATION
RECORDING DATE: OCTOBER 2, 1980
RECORDING NO: AS INSTRUMENT NO. 80-965306 OFFICIAL RECORDS
AFFECTS: A PORTION OF LOT 13 LIMITATIONS ON THE USE, BY THE OWNERS OF SAID LAND, OF THE EASEMENT AREA AS SET FORTH IN THE EASEMENT DOCUMENT SHOWN HEREINABOVE.
- REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
- △₇ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
- GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
PURPOSE: CONVEYING ELECTRIC ENERGY TO BE USED FOR LIGHT, HEAT, POWER, TELEPHONE AND/OR OTHER PURPOSES
RECORDING DATE: MARCH 2, 1992
RECORDING NO: AS INSTRUMENT NO. 92-344792 OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND LIMITATIONS ON THE USE, BY THE OWNERS OF SAID LAND, OF THE EASEMENT AREA AS SET FORTH IN THE EASEMENT DOCUMENT SHOWN HEREINABOVE.
- REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
- △₉ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT
- ENTITLED: PIPELINE EASEMENT AGREEMENT
DATED: NOVEMBER 17, 1998
EXECUTED BY: ARCO PIPE LINE COMPANY, A DELAWARE CORPORATION AND QUESTAR LINE 90 COMPANY, A UTAH CORPORATION
RECORDING DATE: NOVEMBER 24, 1998
RECORDING NO: AS INSTRUMENT NO. 98-2156109 OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
MATTERS CONTAINED IN THAT CERTAIN DOCUMENT
ENTITLED: PARTIAL ASSIGNMENT (EASEMENTS, LICENSES AND RIGHTS OF WAY)
RECORDING DATE: OCTOBER 02, 2008
RECORDING NO: AS INSTRUMENT NO. 20081771932 OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

NOTE:

EASEMENT NUMBERS CORRESPOND TO TO COMMONWEALTH PRELIMINARY
TITLE REPORT SUBMITTED WITH LOT LINE APPLICATION DATED 02/28/2020

LOT LINE ADJUSTMENT NO. _____
EXHIBIT "B"**EASEMENTS:**

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MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: EASEMENT AGREEMENT
DATED: MARCH 29, 1999
EXECUTED BY: ARCO PIPE LINE COMPANY, A DELAWARE CORPORATION AND ARCO TERMINAL SERVICES CORPORATION,
A DELAWARE CORPORATION
RECORDING DATE: APRIL 12, 1999
RECORDING NO: AS INSTRUMENT NO. 99-0625879 OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: ASSIGNMENT OF EASEMENTS
DATED: JUNE 1, 2013
EXECUTED BY: ARCO TERMINAL SERVICES CORPORATION, A DELAWARE CORPORATION
TRANSFER TO: TESORO LOGISTICS OPERATIONS LLC, A DELAWARE LIMITED LIABILITY COMPANY
RECORDING DATE: JUNE 3, 2013
RECORDING NO: AS INSTRUMENT NO. 20130825318 OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

11

MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: EASEMENT AGREEMENT
DATED: MARCH 29, 1999
EXECUTED BY: ARCO PIPE LINE COMPANY, A DELAWARE CORPORATION AND ATLANTIC RICHFIELD COMPANY, A
DELAWARE CORPORATION
RECORDING DATE: APRIL 12, 1999
RECORDING NO: AS INSTRUMENT NO. 99-0625880 OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

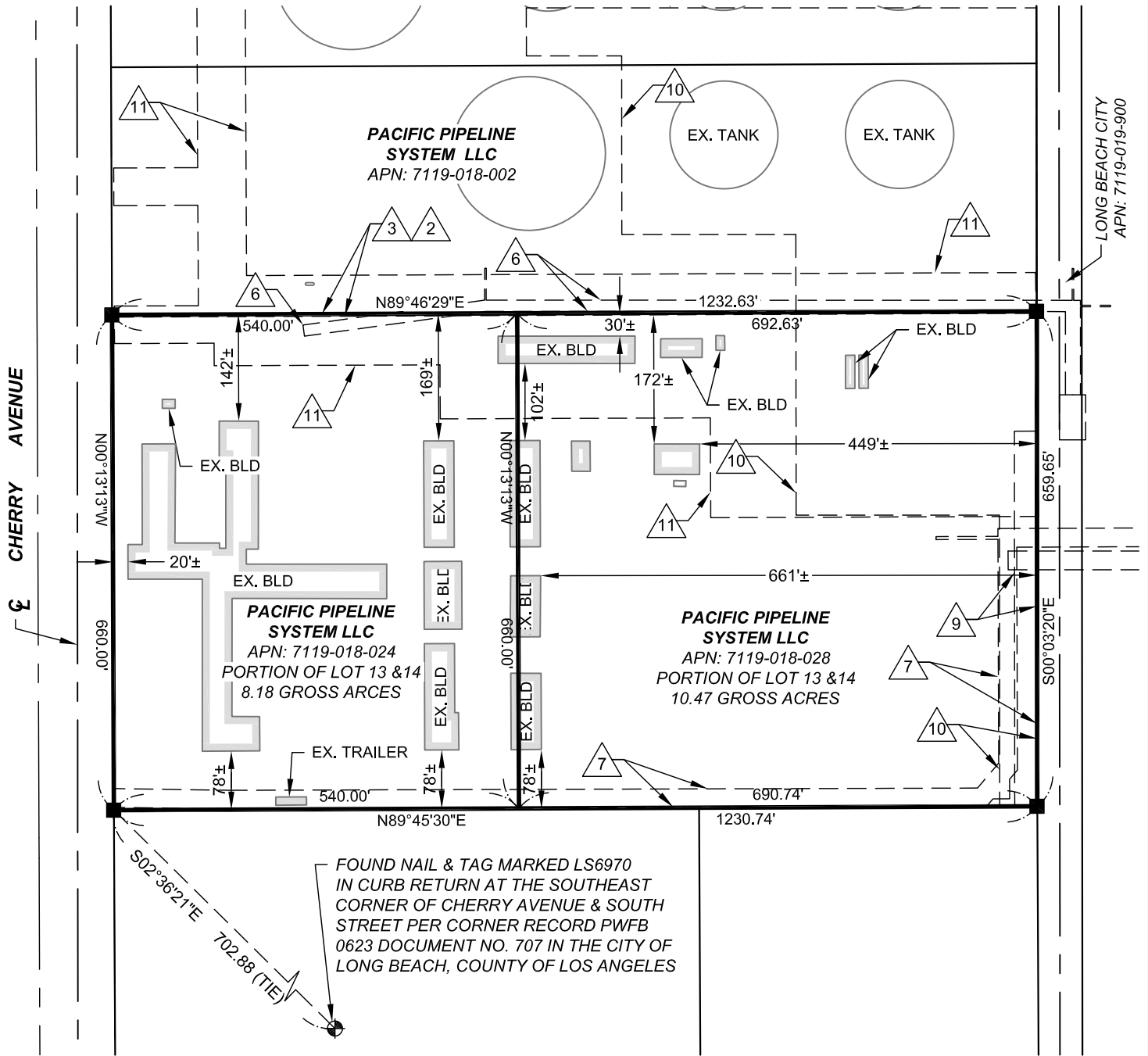
ENTITLED: ASSIGNMENT OF EASEMENTS
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LEGEND:

■ EXISTING PROPERTY CORNER

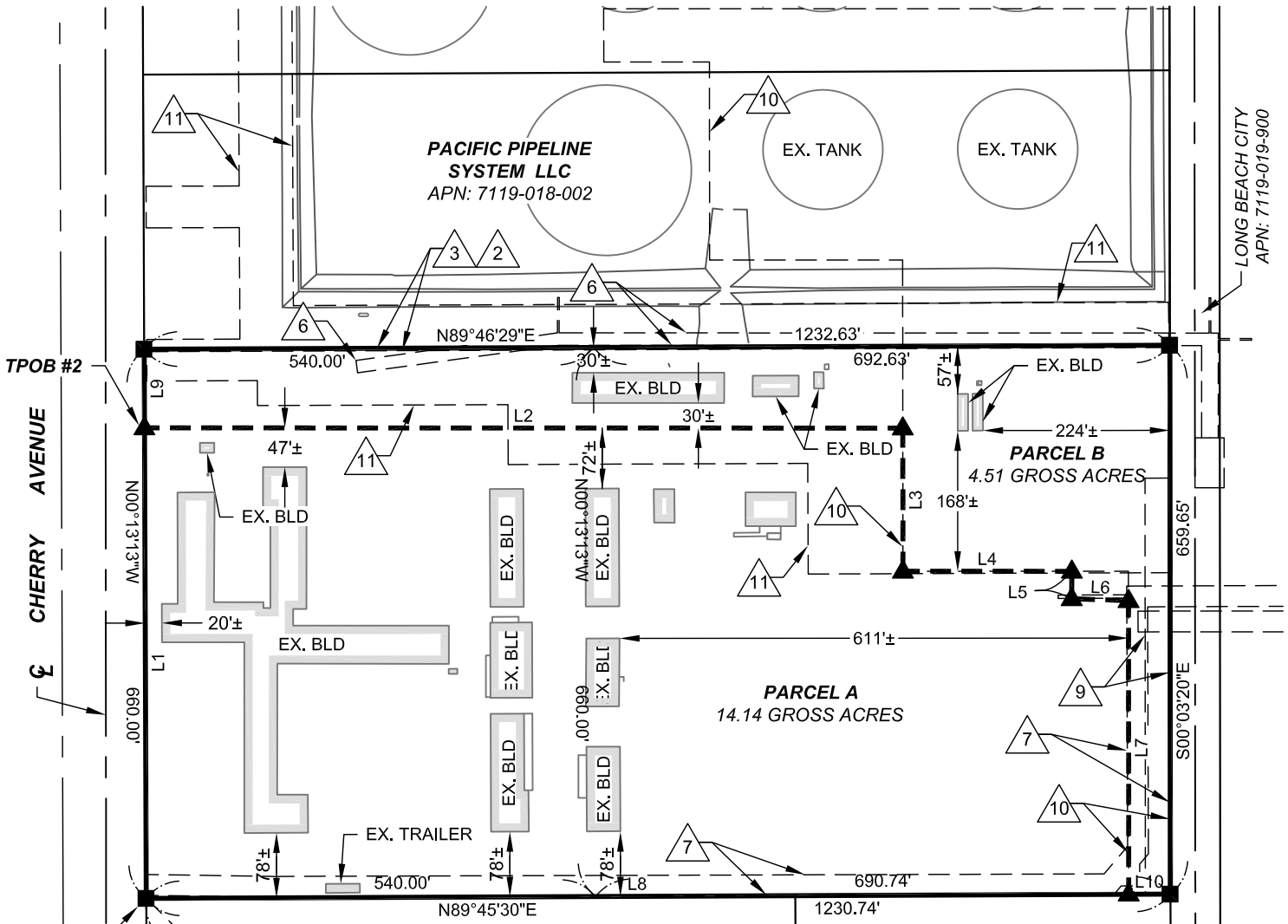
(AS EXISTING)

SCALE: 1" = 200'

"THIS PLAT IS FOR ILLUSTRATIVE PURPOSES ONLY"

LOT LINE ADJUSTMENT NO. _____
EXHIBIT "B"

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FOUND NAIL & TAG MARKED LS6970 IN CURB RETURN AT THE SOUTHEAST CORNER OF CHERRY AVENUE & SOUTH STREET PER CORNER RECORD PWFB 0623 DOCUMENT NO. 707 IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES

LINE TABLE		
LINE	BEARING	LENGTH
L1	N00°13'43"W	565.51
L2	S89°58'55"E	911.40
L3	S00°04'11"E	172.05
L4	S89°58'43"E	203.03
L5	S00°28'56"W	32.91
L6	S88°00'38"E	68.40
L7	S00°01'58"E	352.73
L8	S89°45'11"W	1180.68
L9	N00°10'18"W	94.49
L10	S89°52'49"W	50.06

LEGEND:

- EXISTING PROPERTY CORNER
- ▲ PROPOSED PROPERTY CORNER



SCALE: 1" = 200'

(AS ADJUSTED)

"THIS PLAT IS FOR ILLUSTRATIVE PURPOSES ONLY"

EXHIBIT "A"

LEGAL DESCRIPTION FOR LOT LINE ADJUSTMENT NO. _____

BEING AN ADJUSTMENT OF LOTS 13 AND 14 OF CO-OPERATIVE COLONY TRACT AS PER MAP RECORDED IN BK 21, PG 15 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL "A"

COMMENCING AT A FOUND NAIL AND TAG MARKED LS 6970 IN THE CURB RETURN AT THE SOUTHEAST CORNER OF CHERRY AVENUE & SOUTH STREET PER CORNER RECORD PWFB 0623 DOCUMENT NO. 707 IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, THENCE NORTH 02°36'21" EAST, A DISTANCE OF 702.88 FEET **THE POINT OF BEGINNING #1**;

- 1) THENCE NORTH 00°13'43" WEST, A DISTANCE OF 565.51 FEET;
- 2) THENCE SOUTH 89°58'55" EAST, A DISTANCE OF 911.40 FEET;
- 3) THENCE SOUTH 00°04'11" EAST, A DISTANCE OF 172.05 FEET;
- 4) THENCE SOUTH 89°58'43" EAST, A DISTANCE OF 203.03 FEET;
- 5) THENCE SOUTH 00°28'56" WEST, A DISTANCE OF 32.91 FEET;
- 6) THENCE SOUTH 88°00'38" EAST, A DISTANCE OF 68.40 FEET;
- 7) THENCE SOUTH 00°01'58" EAST, A DISTANCE OF 352.73 FEET;
- 8) THENCE SOUTH 89°45'11" WEST, A DISTANCE OF 1180.68 FEET TO THE **THE POINT OF BEGINNING #1**.

SAID PARCEL CONTAINS 14.14 GROSS ACRES

MICHAEL E. DAUSTER, P.L.S. 9047

11/30/2020

DATE

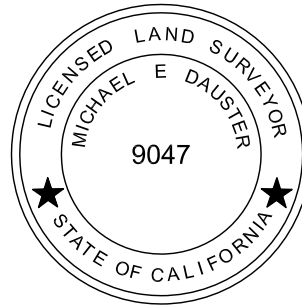


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PARCEL "B"

COMMENCING AT A FOUND NAIL AND TAG MARKED LS 6970 IN THE CURB RETURN AT THE SOUTHEAST CORNER OF CHERRY AVENUE & SOUTH STREET PER CORNER RECORD PWFB 0623 DOCUMENT NO. 707 IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, THENCE NORTH 02°36'21" EAST, A DISTANCE OF 702.88 FEET; THENCE NORTH 00°13'43" WEST, A DISTANCE OF 565.51 FEET TO THE **THE POINT OF BEGINNING #2**;

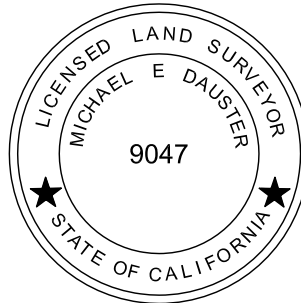
- 1) THENCE NORTH 00°10'18" WEST, A DISTANCE OF 94.49 FEET;
- 2) THENCE NORTH 89°46'29" EAST, A DISTANCE OF 1232.63 FEET;
- 3) THENCE SOUTH 00°03'20" EAST, A DISTANCE OF 659.65 FEET;
- 4) THENCE SOUTH 89°52'49" WEST, A DISTANCE OF 50.06 FEET;
- 5) THENCE NORTH 00°01'58" WEST, A DISTANCE OF 352.73 FEET;
- 6) THENCE NORTH 88°00'38" WEST, A DISTANCE OF 68.40 FEET;
- 7) THENCE NORTH 00°28'56" EAST, A DISTANCE OF 32.91 FEET;
- 8) THENCE NORTH 89°58'43" WEST, A DISTANCE OF 203.03 FEET;
- 9) THENCE NORTH 00°04'11" WEST, A DISTANCE OF 172.05 FEET;
- 10) THENCE NORTH 89°58'55" WEST, A DISTANCE OF 911.40 FEET TO THE **THE POINT OF BEGINNING #2**.

SAID PARCEL CONTAINS 4.51 GROSS ACRES

MICHAEL E. DAUSTER, P.L.S. 9047

11/30/2020

DATE



SITE PLAN NOTES

1. NEW LANDSCAPING BY OTHERS UNDER DEFERRED SUBMITTAL.
2. ONLY NEW IN AREAS NOTED.
3. REFER TO SHEET V1 FOR BOUNDARY AND ELEVATION POINT INFO NOT SHOWN HERE.
4. NON-PERMEABLE PAVING AND NON-PERMEABLE ARTIFICIAL TURF SHALL NOT COVER MORE THAN 30% OF ON-SITE AREA THAT IS NOT COVERED BY STRUCTURES, DRIVEWAYS, AND APPROVED PARKING PADS.

CITY & COUNTY NOTES

1. LONG BEACH: HEIGHT SURVEY MAY BE REQUIRED BY A LICENSED SURVEYOR AT THE TIME OF ROUGH FRAMING INSPECTION.
2. ALL REQUIRED FRONT YARDS AND SETBACKS SHALL BE ATTRACTIVELY LANDSCAPED PRIMARILY W/ DROUGHT TOLERANT AND NATIVE PLANT MATERIALS. ALL AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION WITH HEALTHY LANDSCAPE FREE OF WEEDS AND LITTER. THE LANDSCAPE AREA DOES NOT INCLUDE FOOTPRINTS OF BUILDINGS OR STRUCTURES, SIDEWALKS, DRIVEWAYS, DECKS, PATIOS, AND OTHER NON-IRRIGATED AREAS. SEE LBMC SECTION 21.42.030 FOR FURTHER REQUIREMENT INFORMATION.
3. SEPARATE PERMIT IS REQUIRED FOR EACH BUILDING OR STRUCTURE, I.E.; FENCE WALLS, RETAINING WALLS, TRASH ENCLOSURES, PLANTERS, SWIMMING POOLS/SPAS.
4. A FINAL FLOOD ELEVATION CERTIFICATE EXECUTED BY A LICENSED SURVEYOR OR CIVIL ENGINEER MUST BE FURNISHED TO THE CITY INSPECTOR PRIOR TO THE APPROVAL OF THE LOWEST FLOOR FRAMING (LBMC 18.73.23.C.2.D)
5. "I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLY INTERFERE WITH ANY ACCESS OR UTILITY EASEMENT BELONGING TO OTHERS AND LOCATED ON MY PROPERTY, BUT IN THE EVENT SUCH WORK DOES DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A SUBSTITUTE EASEMENT(S) SATISFACTORY TO THE HOLDER(S) OF THE EASEMENT WILL BE PROVIDED."



 SIGNATURE

owner

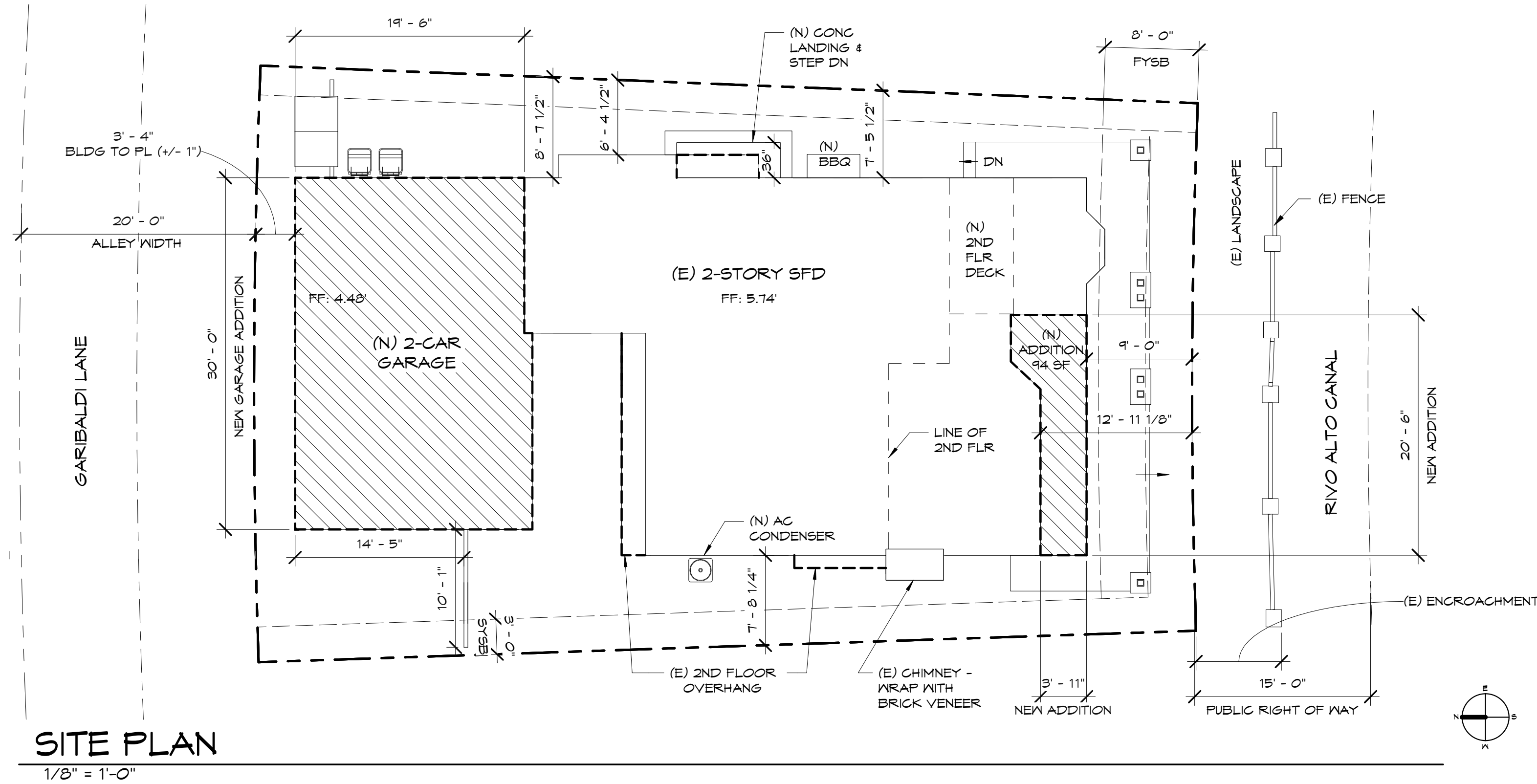
 TITLE



 PRINT NAME

11-28-20

 DATE



SHEET INDEX

- A1.1 SITE PLAN
- A3.1 DEMOLITION PLANS
- A4.1 FIRST FLOOR PLAN
- A4.2 SECOND FLOOR PLAN
- A5.1 ROOF PLAN
- A7.1 SOUTH / WEST EXTERIOR ELEVATIONS
- A7.2 EAST / NORTH EXTERIOR ELEVATIONS
- A8.1 FIRST FLOOR ELECTRICAL PLAN
- A8.2 SECOND FLOOR ELECTRICAL
- A8.3 ELECTRICAL NOTES
- A9.1 FIRST FLOOR REFLECTED CEILING PLAN
- A9.2 SECOND FLOOR REFLECTED CEILING PLAN
- A10.1 FIRST FLOOR MECHANICAL PLAN
- A10.2 SECOND FLOOR MECHANICAL PLAN
- D1 ARCHITECTURAL DETAILS
- D2 ARCHITECTURAL DETAILS
- D3 ARCHITECTURAL DETAILS
- D4 ARCHITECTURAL DETAILS
- D5 ARCHITECTURAL DETAILS
- SC11 SCHEDULES - DOOR & WINDOW
- R1.1 CODE HIGHLIGHTS
- R2.1 BEST MANAGEMENT PRACTICES
- R3.1 CAL-GREEN MANDATORY MEASURES
- R3.2 CAL-GREEN MANDATORY MEASURES
- R4.1 SPECIFICATIONS
- R4.2 SPECIFICATIONS
- R4.3 SPECIFICATIONS
- R4.4 SPECIFICATIONS
- R4.5 SPECIFICATIONS
- T24.1 TITLE 24 CALCULATIONS
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- S1.0 STRUCTURAL NOTES
- S1.1 STRUCTURAL NOTES
- S2.0 FOUNDATION PLAN
- S2.1 FLOOR / LOW ROOF FRAMING PLAN
- S2.2 ROOF FRAMING PLAN
- S3.0 TYPICAL DETAILS
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- S3.2 TYPICAL DETAILS
- S3.3 TYPICAL DETAILS
- S3.4 TYPICAL DETAILS
- S4.0 FOUNDATION DETAILS
- S4.1 FOUNDATION DETAILS
- S5.0 FLOOR / LOW ROOF DETAILS
- S6.0 ROOF DETAILS
- S6.1 ROOF DETAILS
- WS11 WS1 DETAILS
- WS1.1 WS1 DETAILS
- WS21 WS2 DETAILS
- V1 BOUNDARY & TOPOGRAPHIC SURVEY

LEGAL OWNER

ERIC & SALLY SPRINGER
 75 RIVO ALTO CANAL
 LONG BEACH, CA 90803
 PHONE: 310/849.1676

LEGAL DATA

CITY: LONG BEACH
 COUNTY: LOS ANGELES
 APN: 7244-011-010

DESIGN DATA

CODE: 2019 CRC, 2019 CEC, 2019 CPC, 2019 CMG,
 2019 CBC, 2019 CA ENERGY CODE, 2020
 LONG BEACH MUNICIPAL CODE TITLE 18, 2019
 CALGREEN, CITY ORDINANCE

SETBACKS:
 FRONT: 8'
 SIDES: 3'
 REAR: 8'
 HEIGHT LIMIT:
 24' MIDPOINT / 28' MAX

ALLEY WIDTH: 10'

ZONE: R-1-5
 OCCUPANCY: R-3
 USE: SFD
 CONSTRUCTION TYPE: V-B
 SPRINKLERS: NO

FLOOD ZONE: AE, +9'
 EXISTING FINISH FLOOR HEIGHT: 5.74'

SQUARE FOOTAGE CALCULATIONS

EXISTING SQUARE FOOTAGE	
FIRST FLOOR:	1,260 SF
SECOND FLOOR:	896 SF
TOTAL LIVABLE:	2,156 SF
GARAGE:	449 SF
TOTAL STRUCTURAL:	2,605 SF
AREA ADDED TO FIRST FLOOR: 94 SF	
AREA ADDED TO SECOND FLOOR: 13 SF	
AREA OF (E) 2ND FLR CONVERTED TO DECK (NON-LIVABLE): 64 SF	
(N) GARAGE: 598 SF	
NEW TOTAL SQUARE FOOTAGE:	
FIRST FLOOR:	1,354 SF
SECOND FLOOR:	845 SF
TOTAL LIVABLE:	2199 SF
GARAGE:	598 SF
TOTAL STRUCTURAL:	2,797 SF
LOT SIZE: 3,836 SF	
TOTAL BUILDING AREA: 2,797 SF	
FLOOR TO AREA RATIO: .57	
(< 4.603 ALLOWED, 1.2)	
(LIVABLE ONLY, GARAGE <600 SF)	
LOT COVERAGE: 35.3 %	
(NA FOR ZONE)	
OPEN SPACE PROVIDED: 1321 SF	
(> 6% (230 SF) REQUIRED)	
FRONT YARD SETBACK: 362 SF	
REQUIRED LANDSCAPE: 181 SF	
(50% ALLOWED)	
TOTAL LANDSCAPE: 181 SF	

CONSULTANTS

STRUCTURAL
 DAVID CHOI AND ASSOCIATES
 DAVID CHOI
 PO BOX 4308
 LONG BEACH, CA 90804
 PHONE: 562/382.8040

TITLE 24
 BUILD SMART GROUP
 NICK BROWN
 400 LOS ALTOS AVE.
 LONG BEACH, CA 90814
 PHONE: 714/984.3397

INTERIOR DESIGNER
 KELLI GREEN DESIGN
 KELLI GREEN
 6872 BAR HARBOR
 HUNTINGTON BEACH, CA 92648
 PHONE: 714/308.2558

GENERAL SCOPE OF WORK

ADDING 94 SF TO FRONT OF HOME. REMODEL TO INTERIOR SPACES, REPLACE STAIR (ADDITIONAL 16 SF SQUARE FOOTAGE AT TOP LANDING), NEW WINDOWS & DOORS PER PLAN. NEW MECHANICAL AND ELECTRICAL PER PLAN. ADJUSTMENTS ONLY TO PLUMBING AS REQUIRED BY REMODEL. NEW ROOF AT FRONT PORCH. NEW 598 SF 2 CAR GARAGE.

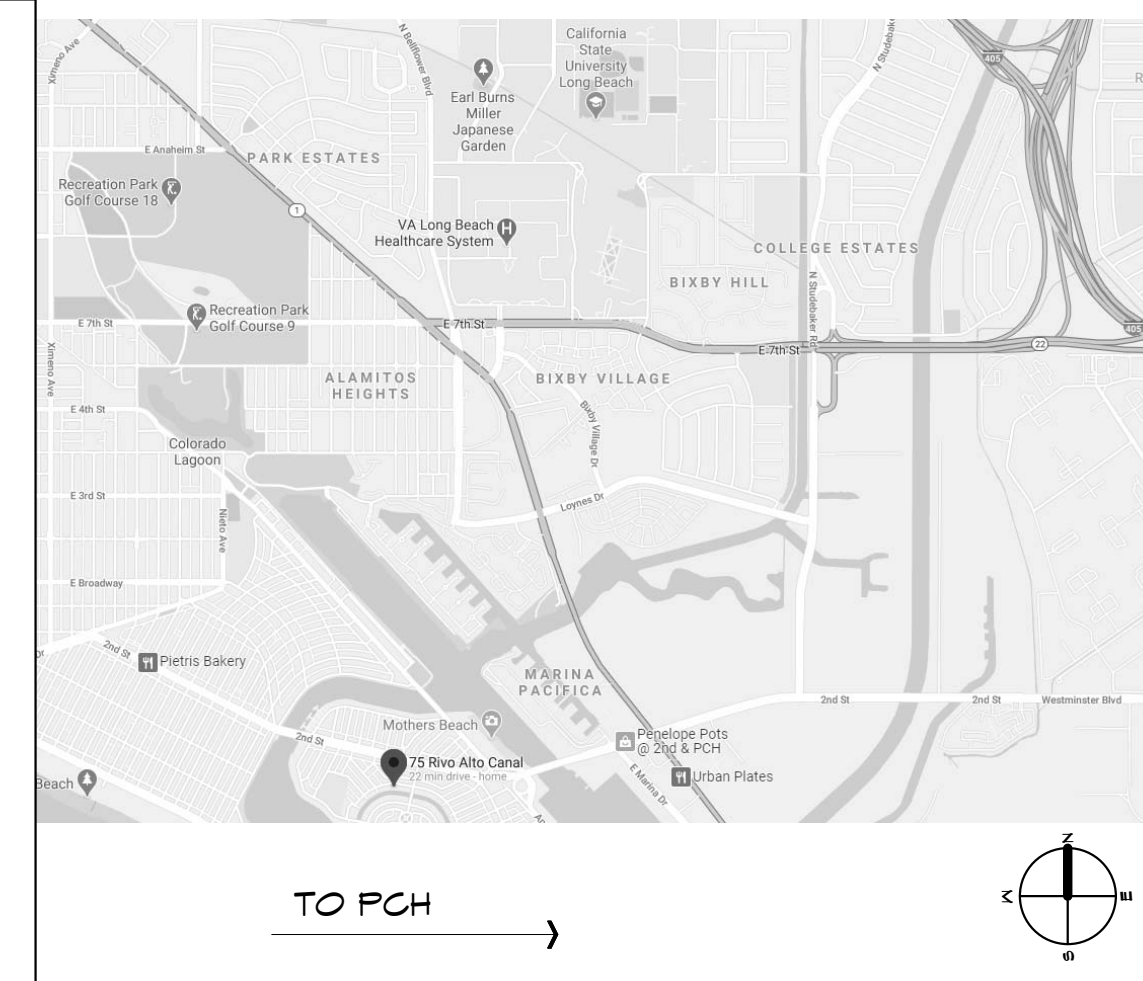
ABBREVIATIONS

ABV	ABOVE	FD	FLOOR DRAIN	MIR	MIRROR
AFF	ABOVE FINISH FLOOR	FF	FINISH FLOOR	MISC	MISCELLANEOUS
BA	BATH	FG	FIELD GAS SUPPLY OUTLET	MN	MICROWAVE
BCR	BELOW COUNTER REFRIGERATOR	FIN GR	FINISHED GRADE	(N)	NEW
BS	BAR SINK	FRZ	FREEZER	PA	PLANTER AREA
CAB	BUILT-IN CABINETS	FV	FOUNDATION VENT	PKT	POCKET DOOR
CF	CURB FACE	FYSB	FRONT YARD SETBACK	PL	PROPERTY LINE
CH	COAT HOOK	GB	GREY BOX	PLT HT	PLATE HEIGHT
CLG	CEILING	GD	GARBAGE DISPOSER	(R)	REFURBISH
CNTR	CENTER	GDO	GARAGE DOOR OPENER (JACK SHAFT)	RAG	RETURN AIR GRILL
CT	COOKTOP	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	REF	REFRIGERATOR
D	DOWNSPOUT	GFF	GROUND FINISH FLOOR	RHB	RECESSED HOSE BIBB
DA	DOOR ACTIVATED LIGHT	GV	GARAGE VENT	RNG	RANGE
DDV	DOWN DRAFT VENT	HB	HOSE BIBB	RO	REVERSE OSMOSIS
DET	DETAIL	HD	HOOD	RS	RAIN SHOWER
DN	DOWN	HDR	HEADER	RYSB	REAR YARD SETBACK
DO	DOUBLE OVEN	HT	HEIGHT	S4P	SHLF AND POLE IN CLOSET
DO/M	DOUBLE OVEN W/MICRO COMBO	HTB	HEATED TOWEL BAR	SC	SHOWER CONTROLS
DR	DOOR	HW	HAND WAND	SHR	SHAMPOO RECESS
DS	DISH SINK	HT	HAND WAND	SK	SKYLIGHT
DV	DRYER VENT	IM	INTERIOR	SL	SLOPE
DW	DISHWASHER	INT	INTERIOR	SR	SOAP RECESS
(E)	EXISTING	L	LAVATORY / SINK	SS	SERVICE SINK
ELEV	ELEVATION	LS	LAZY SUSAN	ST	"SOLA-TUBE" SKYLIGHT
EV	ELECTRIC VEHICLE	MC	MEDICINE CABINET (PREFAB)	SUB FLR	SUB FLOOR
EXT	EXTERIOR	MCC	MEDICINE CABINET (CUSTOM BUILD)	SYB	SIDE YARD SETBACK
FAU	FORCED AIR UNIT	ME	MATCH EXISTING	T	TOILET

T&G

- T/R TRASH / RECYCLE CAB
- TB TOWEL BAR
- TBD TO BE DETERMINED
- TC TRASH COMPACTOR
- TD TRENCH / TROUGH DRAIN
- TH TOWEL HOOK
- TOC TOP OF CURB
- TN TOE NICHE
- TP TOILET PAPER HOLDER
- TPM TOILET PAPER / MAGAZINE RACK
- TJB TUB
- TJH TANKLESS WATER HEATER
- U.F.A. UNDER FLOOR ACCESS
- U.N.O. UNLESS NOTED OTHERWISE
- UR URINAL
- VS VEGETABLE SINK
- WD WARMING DRAWER
- W/D WASHER / DRYER
- WH WATER HEATER
- W/LC WALK IN CLOSET
- WM WATER METER
- WND WINDOW
- WRB WEATHER RESISTIVE BARRIER
- W WIDTH

VICINITY MAP



SPRINGER RESIDENCE
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SITE PLAN

REVISIONS:

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A1.1
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DEMO NOTES

1. REMOVE ALL EXTERIOR FINISHES.
2. AS PART OF THE DEMOLITION PROCESS THE RE-USE PEOPLE OF AMERICA IS TO BE CONTACTED. COORDINATE ALL MATERIALS THROUGH THE DECONSTRUCTION / DEMOLITION PHASE WITH THE CLIENT FOR ANY MATERIALS TO BE DONATED.

DEMO CALCULATION - WALLS

EXISTING TOTALS OF EXTERIOR WALLS (LINEAL FT. and IN.):
 1st FLOOR: 223'-6"
 2nd FLOOR: 156'-2"
 COMBINED TOTAL: 379'-8"

PLANNED DEMO OF ENTIRE WALL HEIGHT (LINEAL FT, IF):
 1st FLOOR: 91'-5" (40.9% OF TOTAL EXISTING)
 2nd FLOOR: 24'-10" (15.9% OF TOTAL EXISTING)
 COMBINED TOTAL: 116'-3" (30.6% OF TOTAL EXISTING)

IN ACCORDANCE WITH MEMO 22B DATED FEBRUARY 5, 2008, PARTIAL WALL MODIFICATIONS HAVE BEEN CALCULATED TO ADD TO THE LINEAL FEET OF TOTAL DEMOLITION. SEE BELOW:

TOTAL LINEAL FEET OF WALL WHERE >50% OF SURFACE AREA IN ELEVATION IS REMOVED/ALTERED/DEMOLISHED:
 1st FLOOR: 10'-7" (4.7% OF TOTAL EXISTING)
 2nd FLOOR: 16'-1" (10.3% OF TOTAL EXISTING)
 COMBINED TOTAL: 26'-8" (7% OF TOTAL EXISTING)

TOTAL EXTERIOR DEMOLITION:
 (ENTIRE WALL DEMO + WALLS MODIFIED >50%)/TOTAL WALL LENGTH FOR FLOOR)
 1st FLOOR: 102'-0"/223'-6" = 45.6%
 2nd FLOOR: 40'-11"/156'-2" = 26.2%
 COMBINED TOTAL: 142'-11"/379'-8" = 37.6%

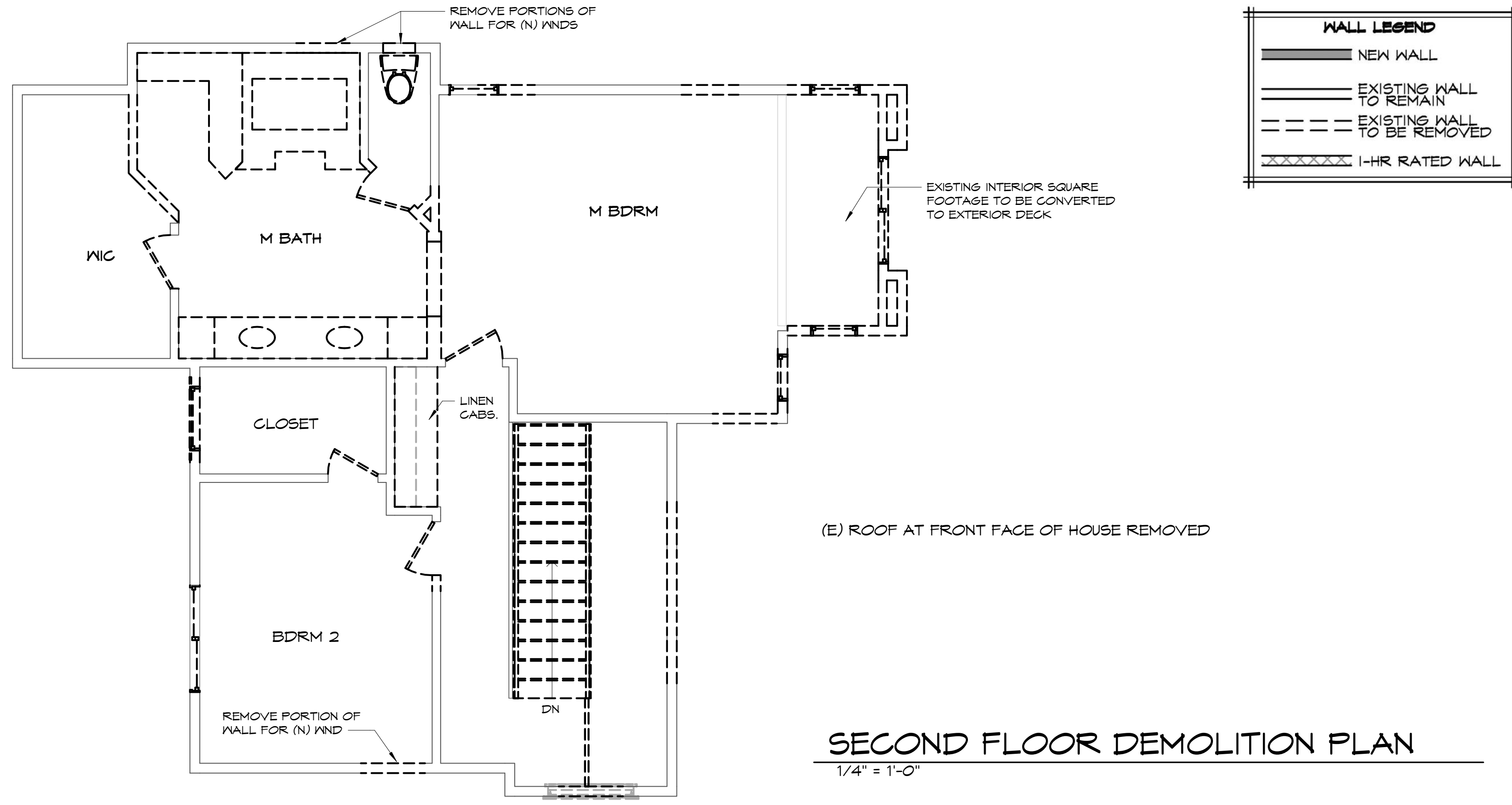
37.6% < 50% OK ---- DOES NOT TRIGGER "REBUILD" CATEGORIZATION

DEMO CALCULATION - ROOF

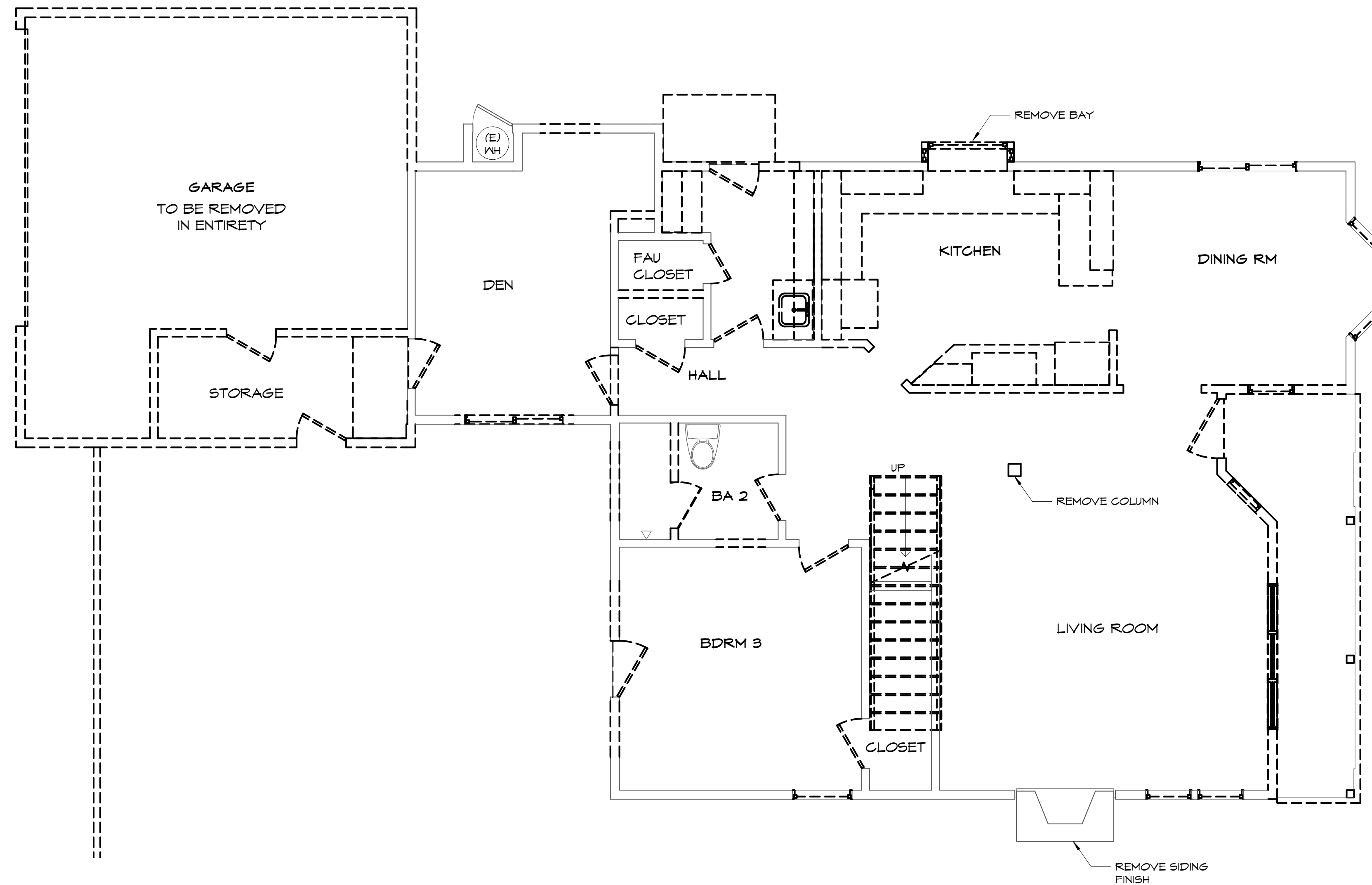
TOTAL EXISTING ROOF = 2,025 SF

TOTAL DEMOLISHED ROOF = 919 SF

45.4% < 50% OK ---- DOES NOT TRIGGER "REBUILD CATEGORIZATION



SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

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DEMOLITION PLANS

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A3.1

DATE: 3/10/2021

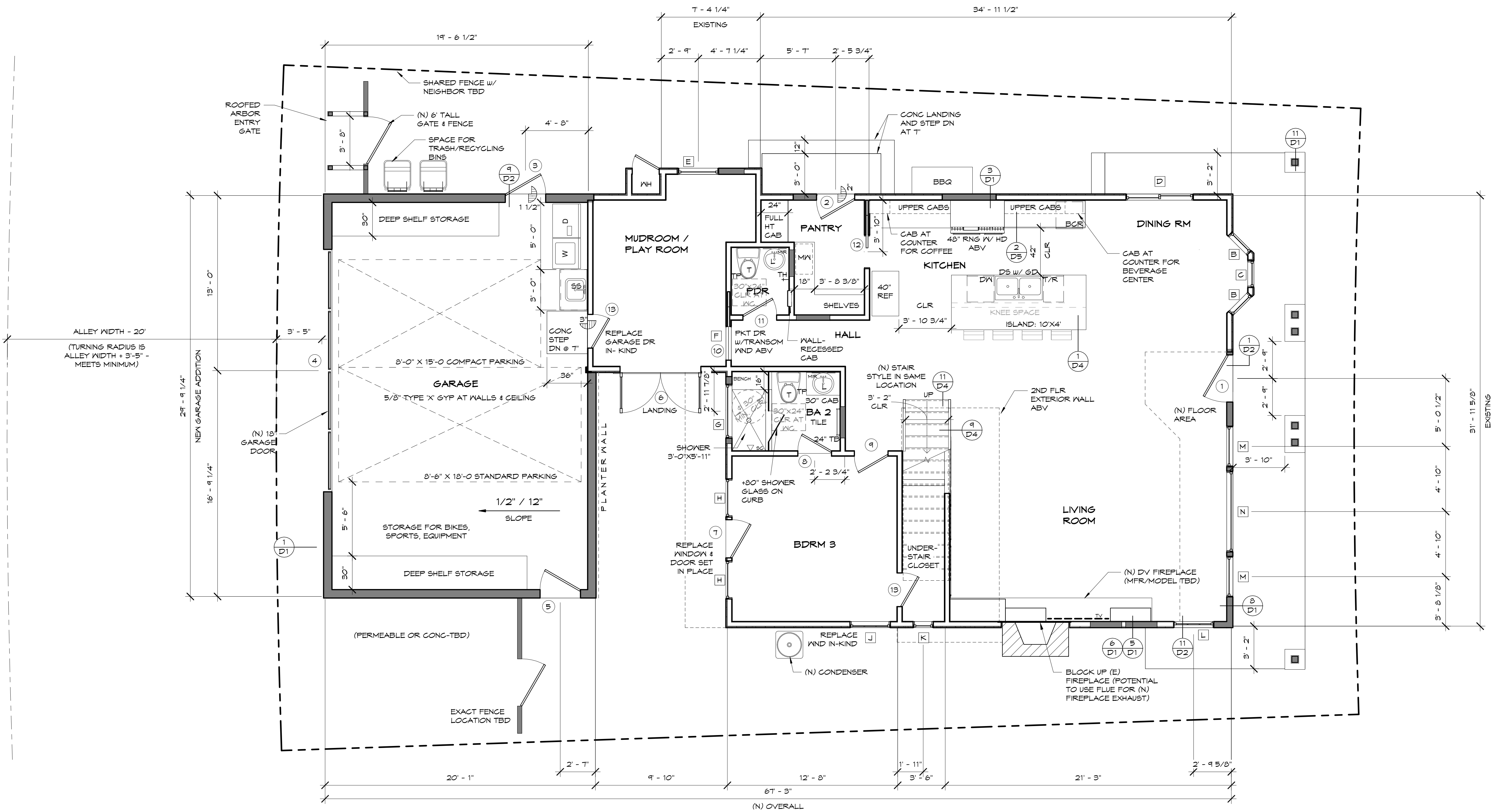
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FLOOR PLAN NOTES

- BATT INSULATION AT WALLS AND RIGID INSULATION AT CEILING (INCLUDING AT GARAGE)

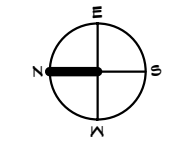
WALL LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED



FIRST FLOOR PLAN

1/4" = 1'-0"



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FIRST FLOOR PLAN

REVISIONS:

NO.	DESCRIPTION	DATE

PC#: _____
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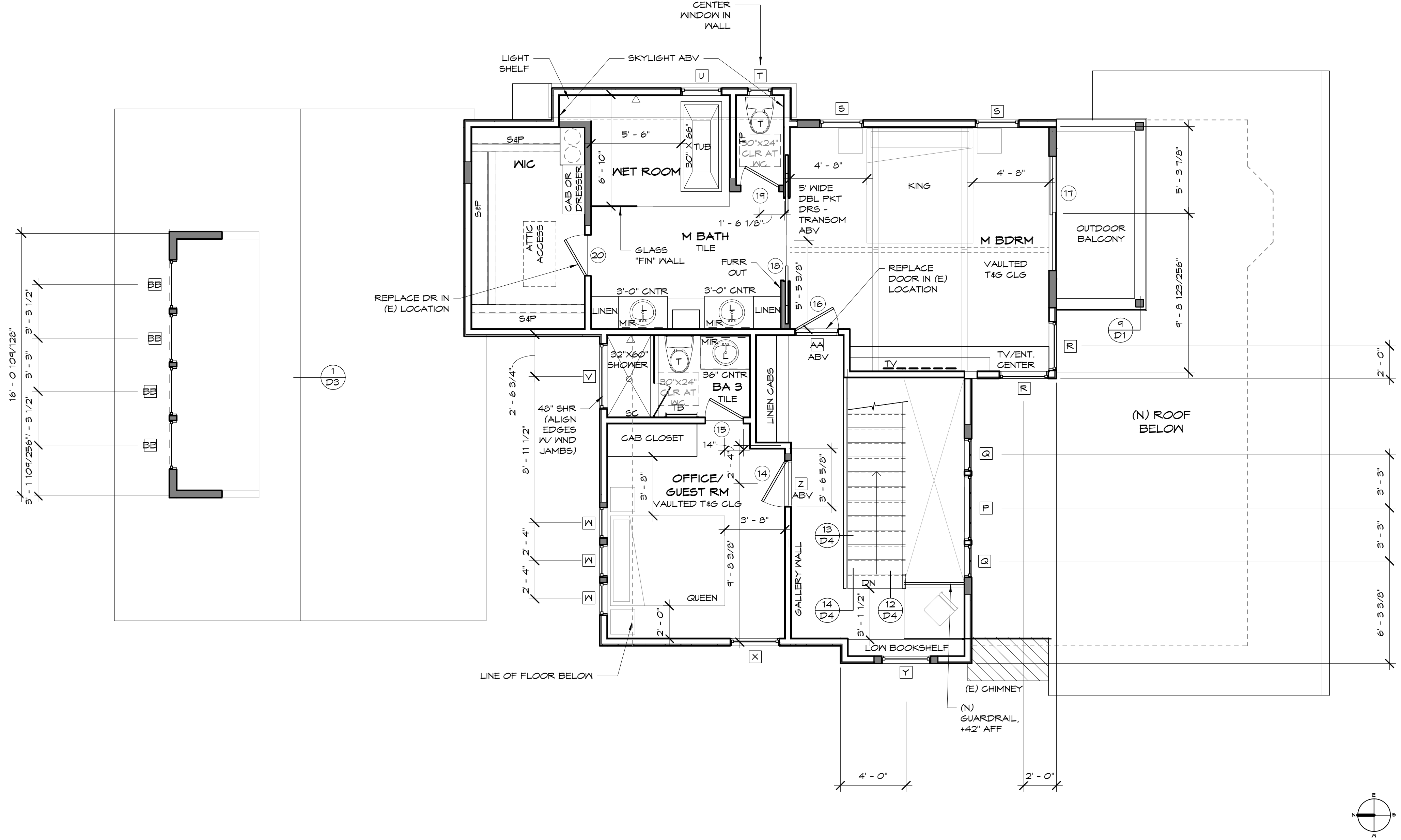


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REFER TO SHEET A4.2 FOR
NOTES AND OTHER
INFORMATION NOT SEEN HERE

WALL LEGEND	
	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED



SECOND FLOOR PLAN
1/4" = 1'-0"

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SECOND FLOOR PLAN

REVISIONS:		
NO.	DESCRIPTION	DATE


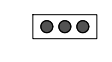
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ROOF LEGEND

-  SOLAR PANELS (FUTURE OR DEFERRED SUBMITTAL)
-  TUBULAR DAYLIGHTING DEVICE
-  SOLAR ATTIC VENT
-  COMPOSITION / SLATE / SHINGLE VENT
-  CLOAKED TILE VENT
-  RIDGE / CONTINUOUS / SOFFIT / EAVE VENT
-  EAVE BLOCK VENT
-  LOUVERED WALL VENT

ROOF PLAN NOTES

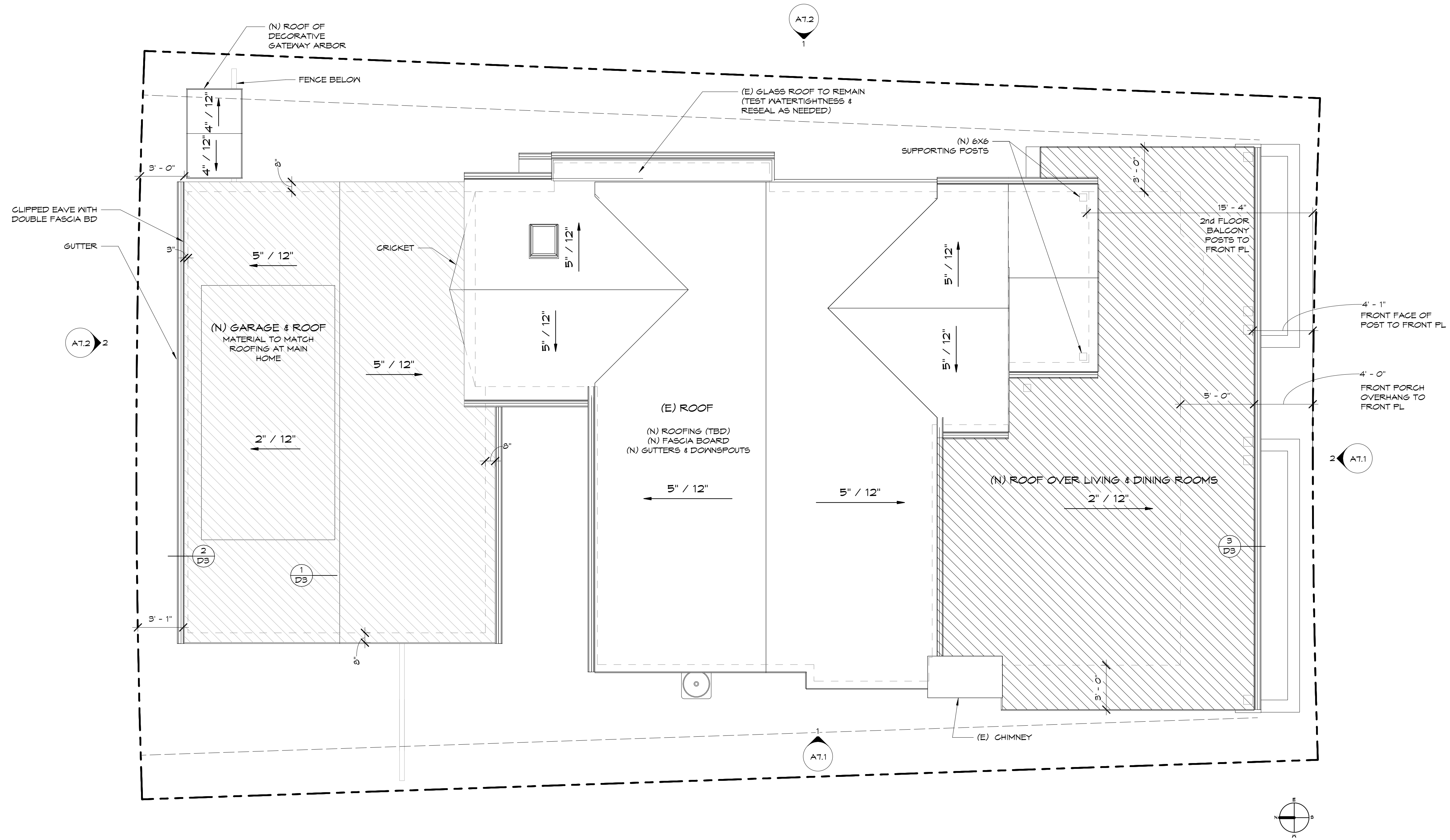
1. NEW ROOFING.
2. ALL NEW GUTTERS AND DOWNSPOUTS.
3. FUTURE SOLAR PANELS, DEFERRED SUBMITTAL BY OTHERS.
4. THIS HOME TO HAVE UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLES AT NEW ROOFS.

ROOFING NOTES

CONCRETE ROOFING TILES: CEDARLITE 600 BY BORAL ROOFING (OR ARCHITECT APPROVED EQUAL) COLOR TBD

COMPOSITION ASPHALT SHINGLES: (ALTERNATE FOR COST - MAY USE AT UPPER ROOF ONLY)

SOLAR PANELS REVIEW ALL REQUIREMENTS PRIOR TO ORDER AND INSTALLATION. HOOK UP TO ELECTRICAL PANEL PER MANUFACTURER'S SPECS. DEFERRED SUBMITTAL, UNDER SEPARATE PERMIT.



ROOF PLAN

1/4" = 1'-0"

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ROOF PLAN

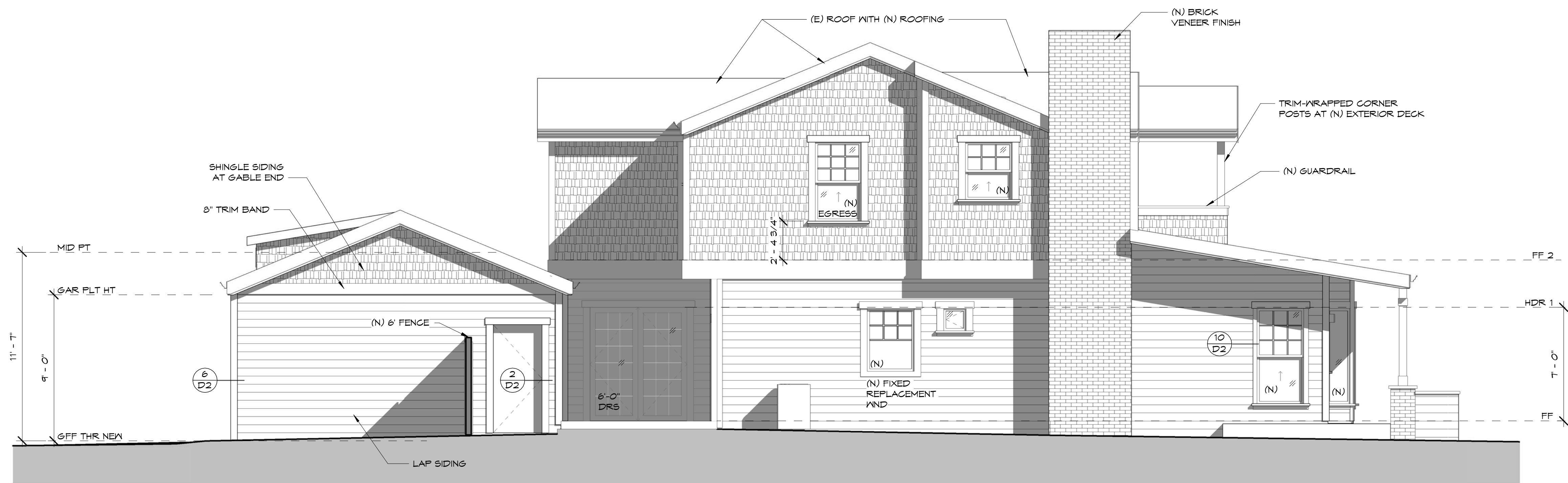
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1 WEST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH NOTES

ALL PRODUCTS LISTED BELOW SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, SO AS NOT TO VOID WARRANTIES.

SIDING: 6" EXPOSURE, SMOOTH SURFACE OUT ARTISAN LAP SIDING BY JAMES HARDIE (ALTERNATE FOR COST SAVINGS - HARDIE LAP SIDING).

EXTERIOR TRIM: SHALL BE PRIMED ON ALL SIDES AND ENDS AND PAINTED ON ALL EXPOSED SIDES.

WINDOW TRIM: TO BE X" WIDTH, SEE ELEVATION. ARTISAN ACCENT TRIM BY JAMES HARDIE (ALTERNATE FOR COST SAVINGS- HARDIETRIM BOARD BY JAMES HARDIE).

DOOR TRIM: TO BE X" WIDTH, SEE ELEVATION. ARTISAN ACCENT TRIM BY JAMES HARDIE (ALTERNATE FOR COST SAVINGS - HARDIETRIM BOARD BY JAMES HARDIE).

FRONT DOOR: CUSTOM WOOD DOOR WITH DECORATIVE WINDOWS, PAINT GRADE.

EXTERIOR WINDOWS/DOORS: WHITE FRAMES, SEE SCHEDULE FOR MANUFACTURER AND OTHER SPECS.

GARAGE DOOR: STAIN GRADE WITH GLAZING IN TOP PANEL.

STONE VENEER (ALTERNATE AT EXISTING CHIMNEY): BY EL DORADO STONE - PROFILE & COLOR TBD IF SELECTED

BRICK VENEER: STANDARD SIZE, 3-5/8" X 2-1/4" X 7-5/8", RUSTIC TEXTURE, COLOR TO BE SELECTED BY OWNER, RUNNING BOND, PROVIDE A SAMPLE FOR OWNERS AND ARCHITECT TO CONFIRM FINAL DESIGN AND COLOR.

EXPOSED BEAMS: PAINT GRADE WOOD. FINISH WOOD TO MATCH TRIM; OR RAINSCREEN. WOOD TO BE ARCH GRADE AND RATED FOR EXTERIOR APPLICATIONS.

POST: WRAP WITH HARDIE TRIM PER PLANS, SQUARE CORNERS

ROOFING: CEDARLITE 600 BY BORAL ROOFING - COLOR TBD AND VERIFIED WITH OWNER (AUTUMNWOOD SUGGESTED), SEE ROOF PLAN FOR SPECS

ROOF FASCIA: PAINT GRADE WOOD BOARD

WOOD RAILINGS: PAINT GRADE, CEDAR OR REDWOOD (ROT & PEST RESISTANT).

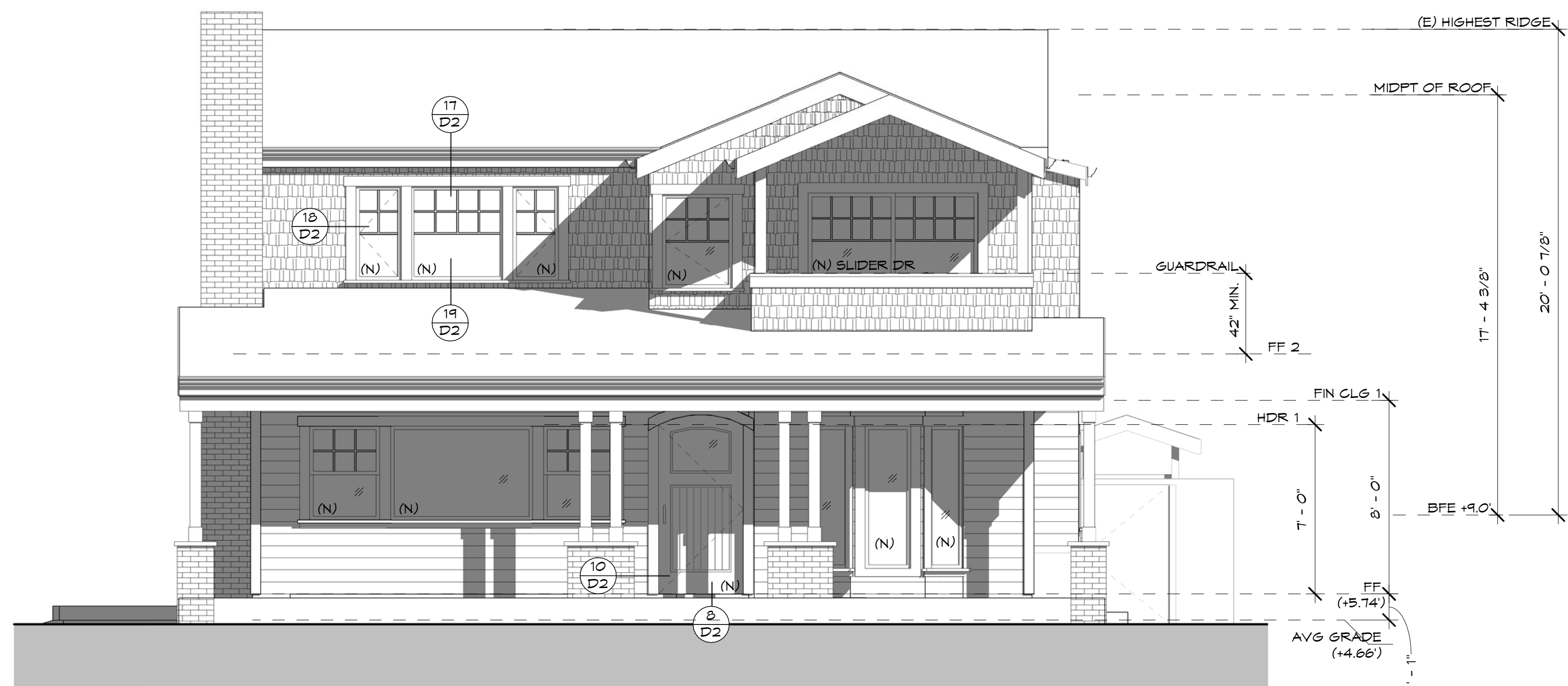
GATES / FENCE: HORIZONTAL WOOD, COLOR/FINISH TO MATCH RAINSCREEN AND BOARD SIZE AND PROFILE TO ALIGN ADJACENT BOARDS. (IF NO RAINSCREEN SPECIFY SIZE AND WOOD SPECIES HERE)

SCUPPERS, GUTTERS, & DOWNSPOUTS: STAINLESS STEEL METAL - PAINTED TO MATCH ADJACENT MATERIALS.

ADDRESS NUMBERS: 6" TALL BY WESTON HOUSE NUMBERS (ARCHITECTURALNUMBERS.COM) OR EQUAL - FINISH TO BE CONFIRMED WITH OWNER. ARCHITECT RECOMMENDS: BLACK ANODIZED OR MEDIUM BRONZE FINISH.

EXTERIOR SOFFITS: STAIN GRADE WOOD T&G. ROT & PEST-RESISTANT.

EAVE AND RAKE UNDER SIDES: STAIN GRADE WOOD T&G. ROT & PEST RESISTANT.



2 SOUTH ELEVATION
1/4" = 1'-0"

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SOUTH / WEST
EXTERIOR ELEVATIONS

REVISIONS:

NO.	DESCRIPTION	DATE

PC#: _____
DB: DZ/JS
JOB#: 2020.05.22

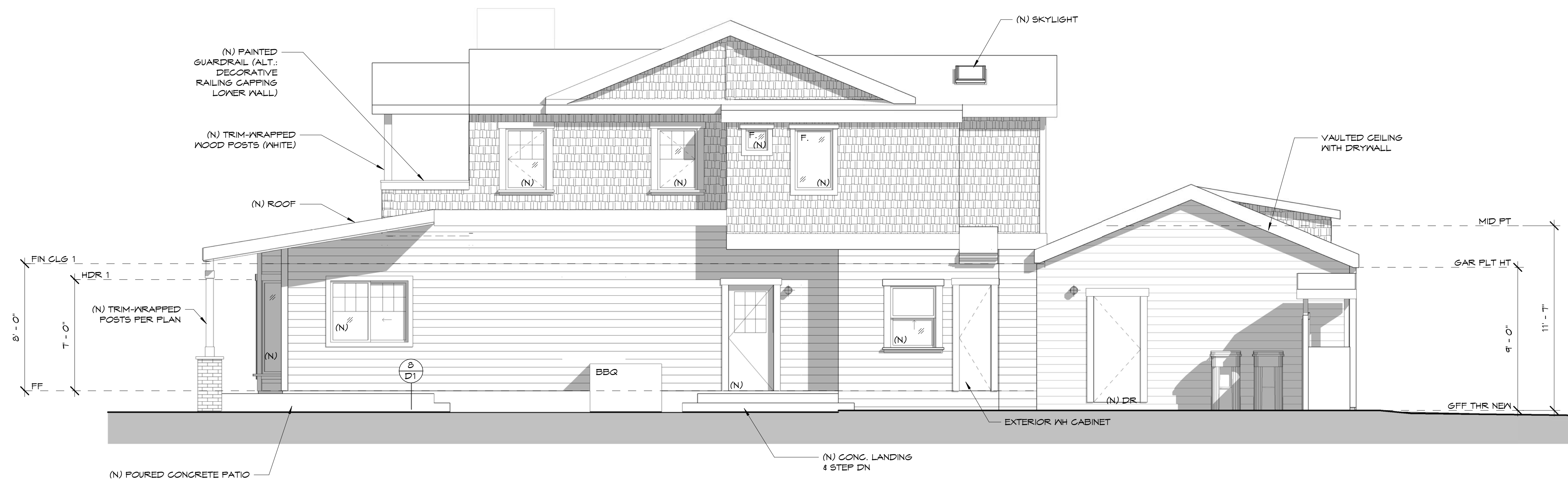


A7.1

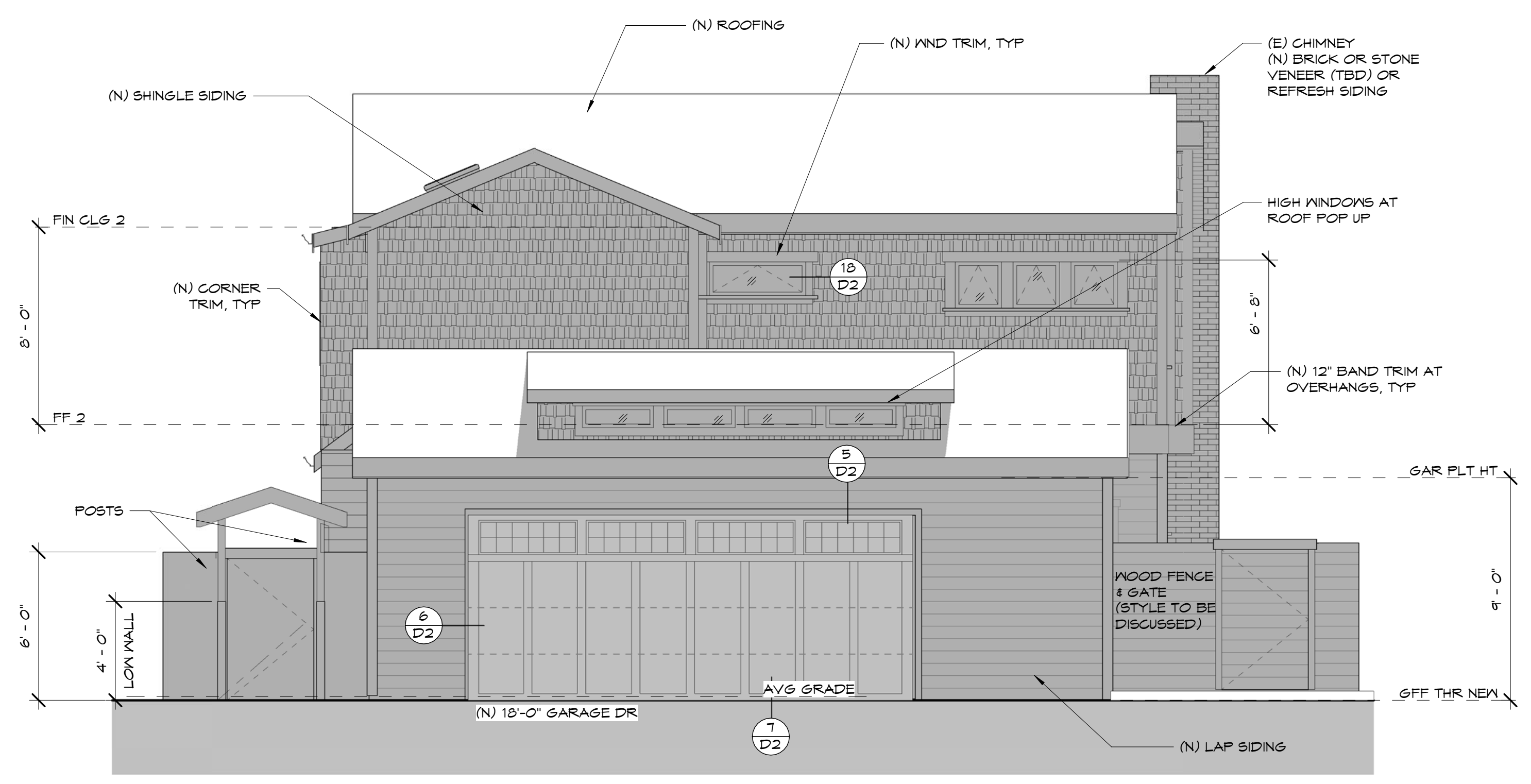
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1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

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EAST / NORTH
EXTERIOR ELEVATIONS

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NO.	DESCRIPTION	DATE

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DB: DZ/JS
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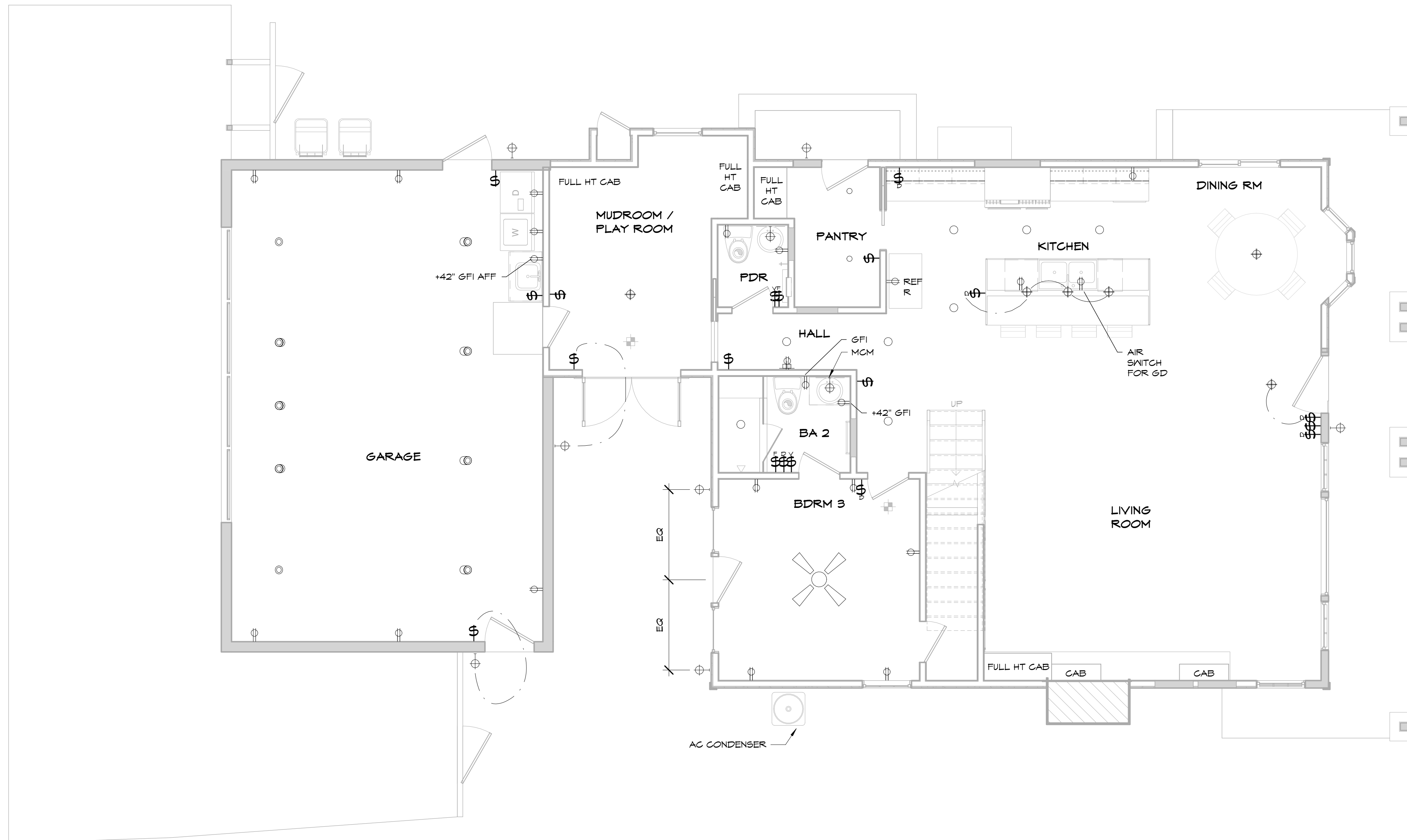
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ELECTRICAL NOTES

1. PROVIDE A LIGHTING/HEATER/CLG FAN/SUB PANEL OPTION @ FRONT PATIO TBD BY OWNER/INTERIOR DESIGNER/CONTRACTOR
2. REPLACE OUTLET & SWITCH COVERS AT (E) OUTLETS & SWITCHES, TYP

REFER TO SHEET A8.3 FOR NOTES AND OTHER INFORMATION NOT SEEN HERE



FIRST FLOOR ELECTRICAL
1/4" = 1'-0"

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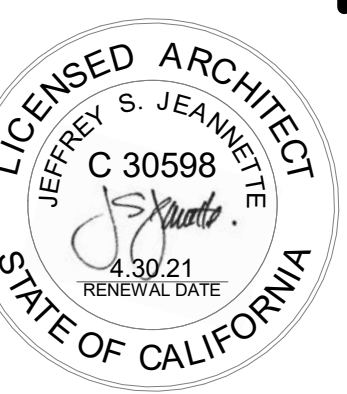
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FIRST FLOOR ELECTRICAL PLAN

REVISIONS:

NO.	DESCRIPTION	DATE

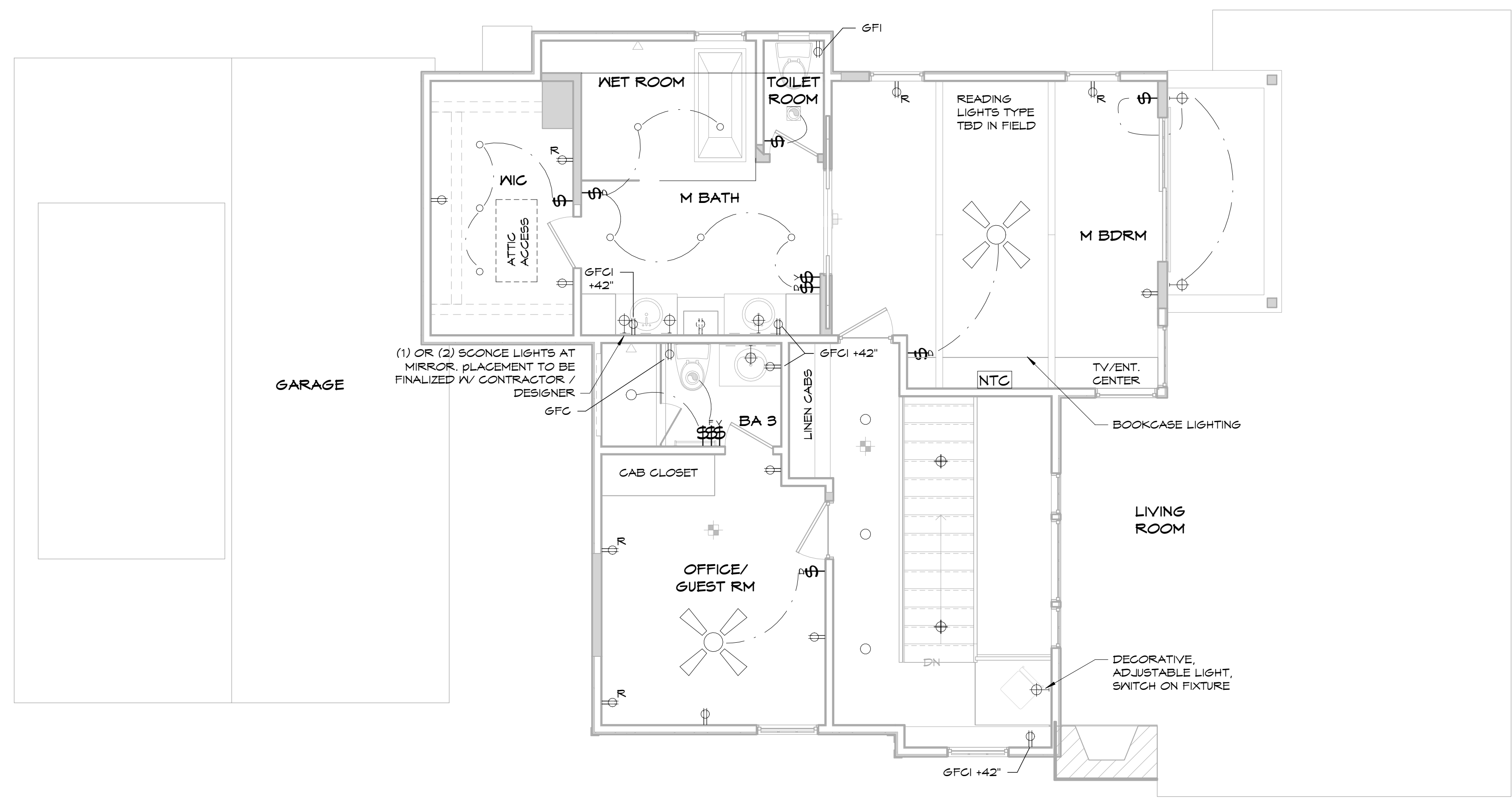
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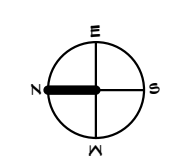
A8.1
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FOR NOTES AND OTHER
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SECOND FLOOR ELECTRICAL
1/4" = 1'-0"



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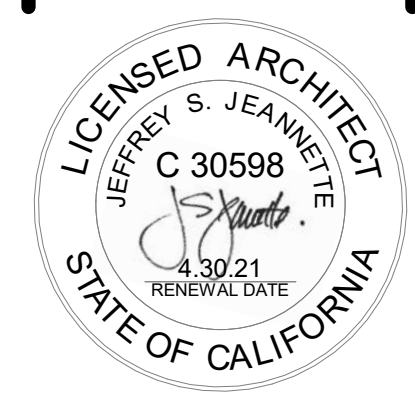
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**SECOND FLOOR
ELECTRICAL**

REVISIONS:

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ELECTRICAL		
SYMBOL	UNIT TYPE	COMMENTS
	ELECTRICAL METER	
	SUBPANEL	
	SMOKE + CARBON MONOXIDE DETECTOR	
	6" LED RECESSED LIGHT	BAFFLE FOR FLAT CEILING
	4" LED RECESSED LIGHT	
	6" LED RECESSED LIGHT	HOUSING + TRIM BAFFLE FOR SLOPED CEILING
	6" RECESSED LED LIGHT	TRIM + HOUSING FOR NET LOCATIONS
	4" RECESSED LED ART LIGHT	TRIM WITH ADJUSTABLE GIMBAL
	RECESSED EXHAUST FAN	
	RECESSED EXHAUST FAN + LIGHT COMBO	
	WALL SCONCE	FIXTURE PROVIDED BY OWNER
	PENDANT LIGHT	FIXTURE PROVIDED BY OWNER
	FLUSH MOUNT CEILING LIGHT	FIXTURE PROVIDED BY OWNER
	CEILING FAN	FIXTURE PROVIDED BY OWNER
	LED GARAGE LED LIGHT	(2) 4' T8 LED LAMP
	STRIP CLOSET LED LIGHT	(1) 4' T8 LED LAMP
	SECURITY/FLOOD LIGHT	WITH MOTION SENSOR
.....	WIREMOLD	GFCI PLUG STRIP AT REAR OF UPPER CABINET; COLOR TO MATCH CABS (ORDER TO MATCH OR PAINT)
	LOW PROFILE LED TAPE LIGHT	COVE UNDER CABINET W/ REMOTE TRANSFORMER / DIMMER SWITCH
	LED STEP LIGHT	STAINLESS STEEL FINISH
	LED TRELLIS LIGHT	
	EXTERIOR UP LIGHT	
	EXISTING OUTLET	
	DUPLEX OUTLET	
	FOURPLEX OUTLET	
	DUPLEX OUTLET IN CAB	
	DUPLEX / QUAD USB OUTLET	
	RECESSED DUPLEX OUTLET	
	RECESSED FLOOR OUTLET	
	HOLIDAY OUTLET	WP OUTLET UNDER EAVE UNO
	WATERPROOF OUTLET	
	240V OUTLET	
	SWITCH	
	3-WAY SWITCH	
	4-WAY SWITCH	
	DIMMER SWITCH	
	VACANCY SENSOR SWITCH	
	TIMER SWITCH	
	FAN/LIGHT TIMER SWITCH	
	TIMECLOCK	
	DOOR BELL	
	DOOR CHIME	
	NETWORK (CAT 6), TELEPHONE, AND CABLE JACK	
	FOURPLEX RECEPTACLE	
	SPEAKER	
	VOLUME CONTROLS	
	DATA MEDIA CENTER	
	GARAGE DOOR BUTTON	
	DOOR ACTIVATED LIGHT	

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ELECTRICAL NOTES

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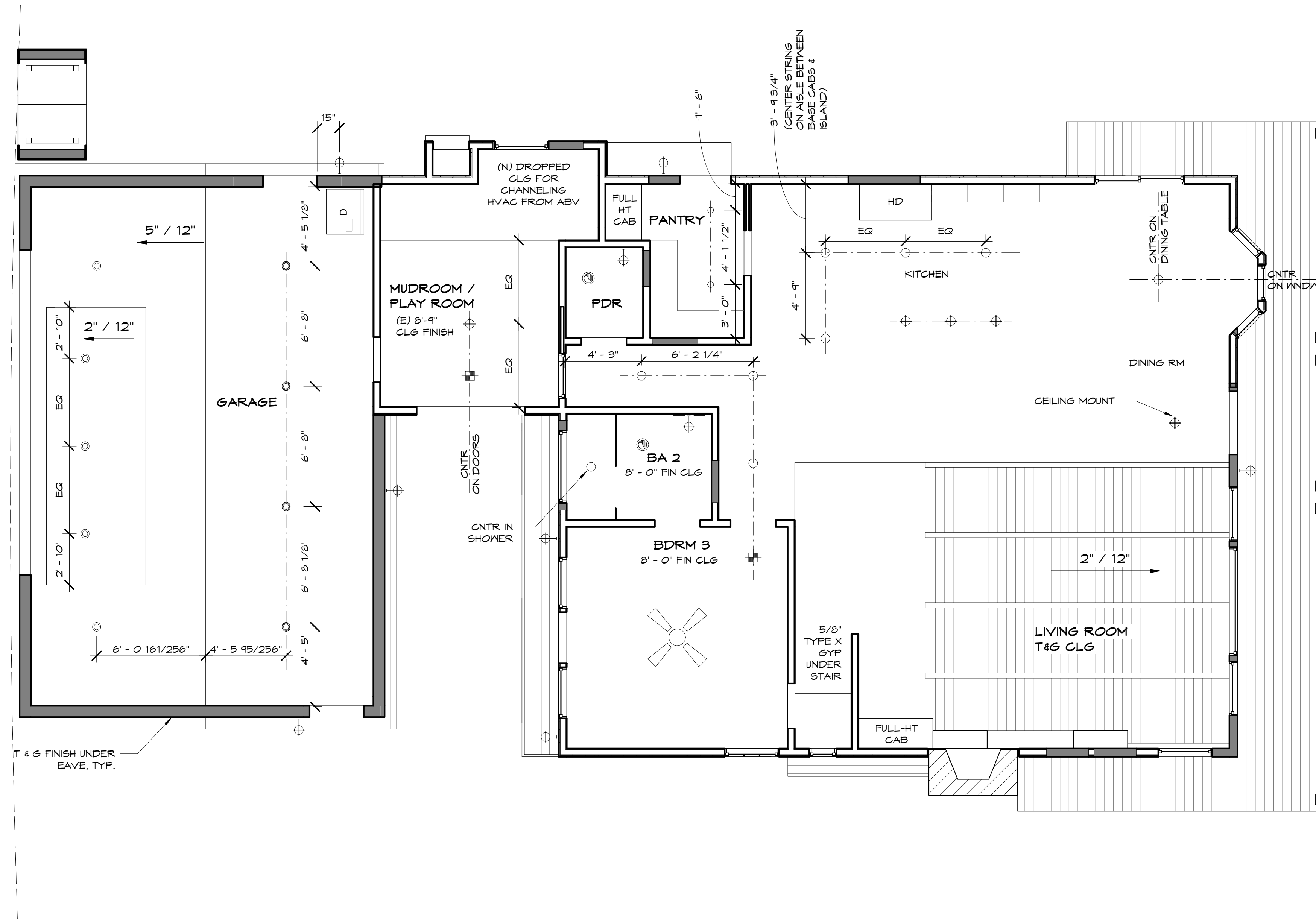


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REFLECTED CEILING NOTES

1. ALL CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR TO FINISH CEILING.
2. ALL SLOPING CEILINGS SHALL HAVE A PITCH TO MATCH ROOF. U.N.O.



FIRST FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

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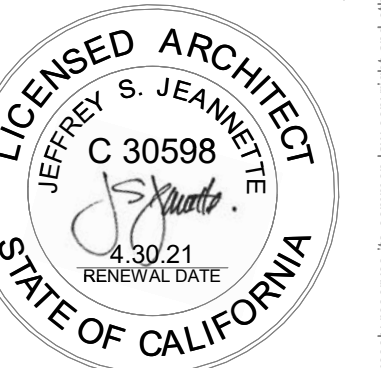
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**FIRST FLOOR
REFLECTED CEILING
PLAN**

REVISIONS:

NO.	DESCRIPTION	DATE

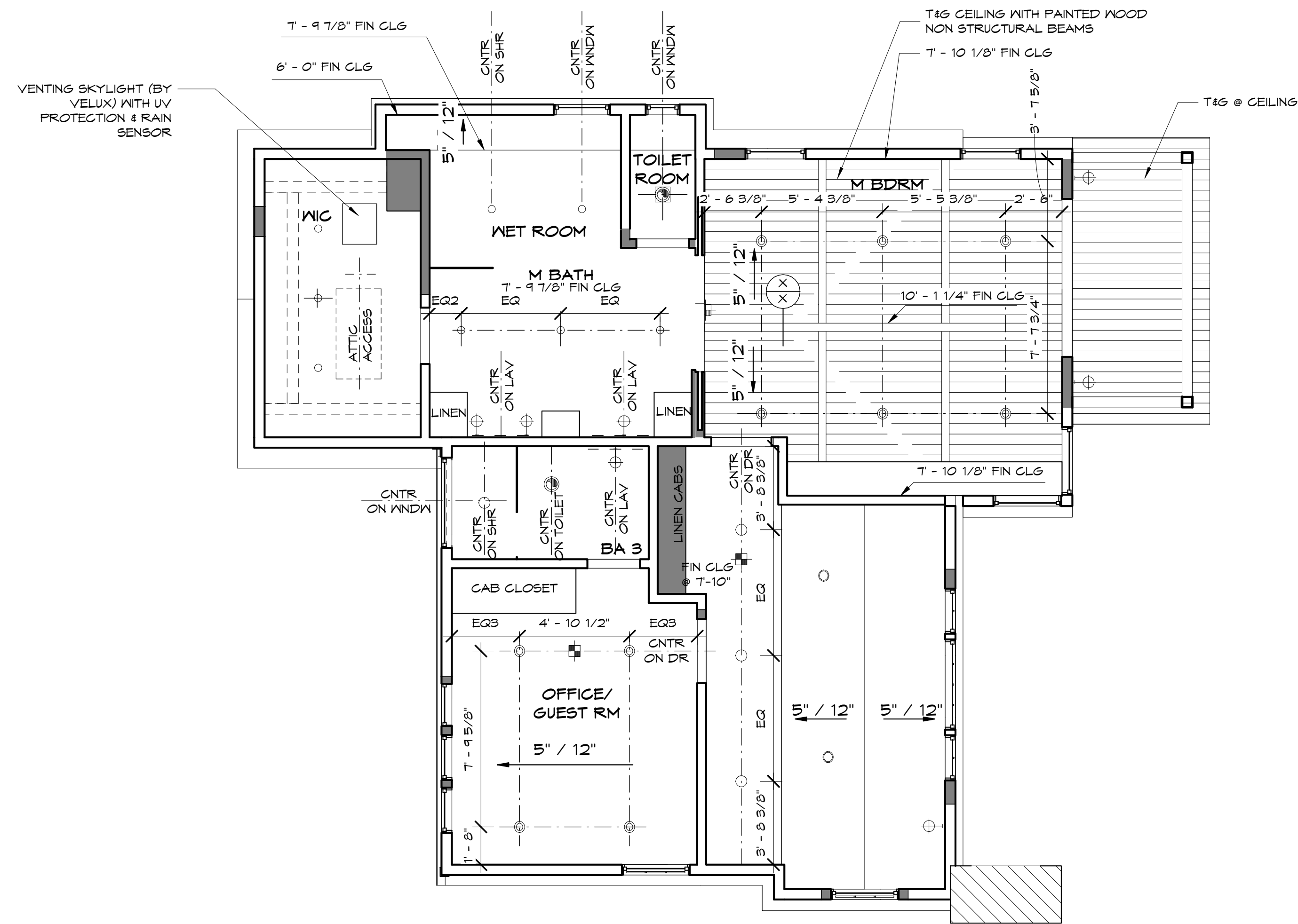
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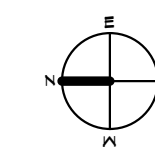
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SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



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**SECOND FLOOR
REFLECTED CEILING
PLAN**

REVISIONS:

NO.	DESCRIPTION	DATE

PC#:
DB: DZ/JS
JOB#: 2020.05.22

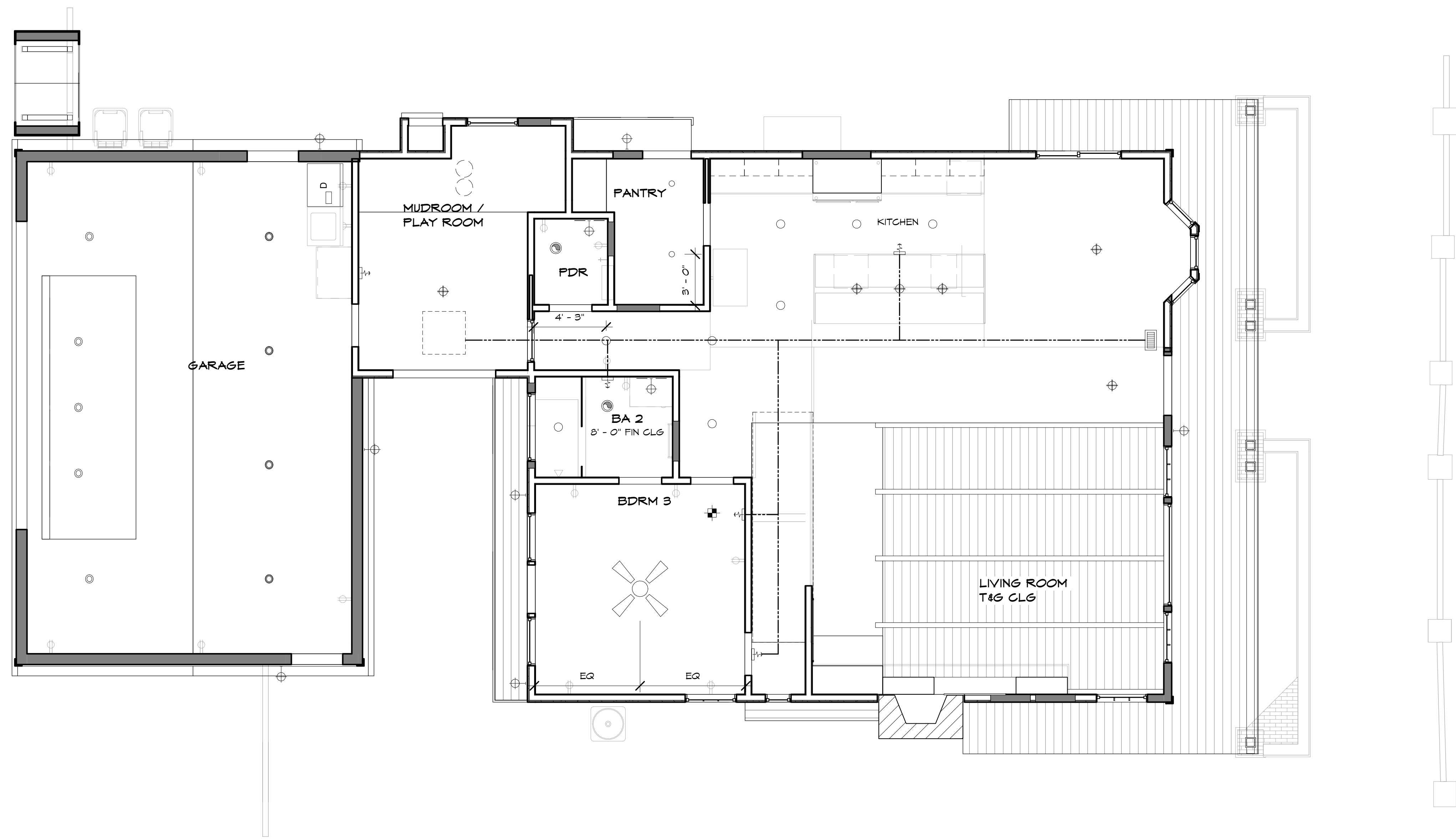


A9.2
DATE: 3/10/2021

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MECHANICAL NOTES

1. ALL NEW HVAC SYSTEM SERVING WHOLE HOME TO BE LOCATED IN SECOND FLOOR ATTIC. DUCT CHASES TO FIRST FLOOR TO BE LOCATED PER PLAN IN MASTER WIC.
2. ALL NEW SUPPLY AND RETURN VENTS THROUGHOUT.
3. ZONING (TO BE VERIFIED WITH OWNER PRIOR TO ORDER OF UNIT & INSTALLATION):
 ZONE 1: DOWNSTAIRS LIVABLE
 ZONE 2: UPSTAIRS



FIRST FLOOR MECHANICAL PLAN
 1/4" = 1'-0"

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 562/987.9139
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**FIRST FLOOR
 MECHANICAL PLAN**

REVISIONS:

NO.	DESCRIPTION	DATE

PC#: _____
 DB: DZ/JS
 JOB#: 2020.05.22

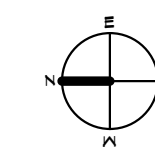
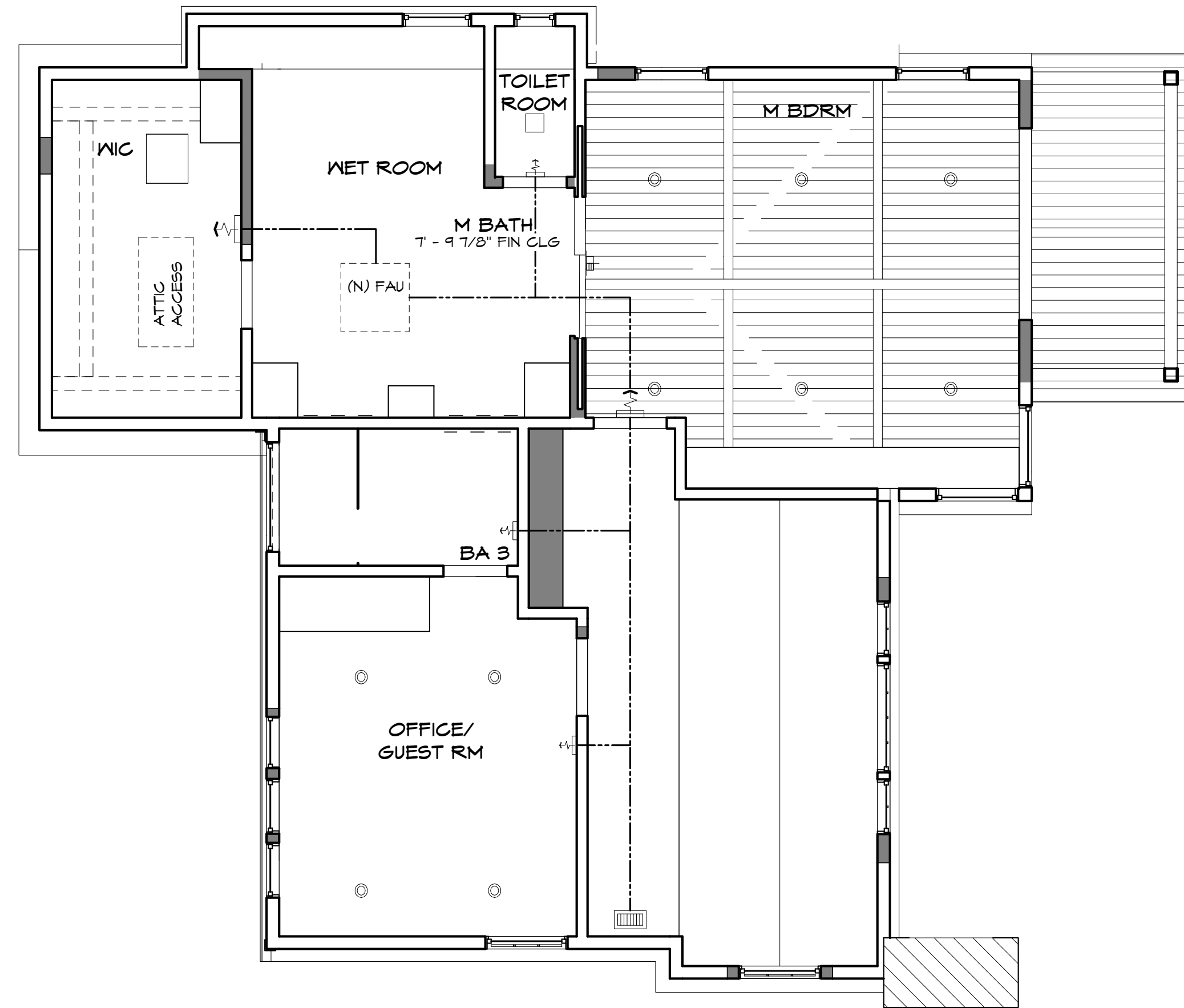


A10.1
 DATE: 3/10/2021

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MECHANICAL SYMBOLS

- FAU FORCED AIR UNIT
- A/C AIR CONDITIONER
- MS MINI SPLIT (DUCTED / DUCTLESS / WALL MOUNT)
- HVAC PACKAGE UNIT
- SUPPLY CEILING VENT
- SUPPLY WALL VENT
- DUCT UP / DOWN SYMBOL
- RETURN AIR GRILL (RAG)
- PASSIVE AIR VENT
- THERMOSTAT



SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

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**SECOND FLOOR
MECHANICAL PLAN**

REVISIONS:		
NO.	DESCRIPTION	DATE

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DATE: 3/10/2021

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DOORS

PKT - POCKET SW - SWING TG - TEMPERED GLASS
SL - SLIDING DBL SW - DOUBLE SWING

NO.	DIMENSIONS		OPERATION	DESCRIPTION	TG
	WIDTH	HEIGHT			
1	3' - 6"	T - 0"	SW	EXTERIOR DOOR AT ENTRY	TG
2	2' - 10"	6' - 8"	SW	EXTERIOR DOOR AT PANTRY	
3	3' - 0"	6' - 8"	SW	EXTERIOR DOOR AT GARAGE	
4	18' - 0"	T - 6"	ROLL UP	EXTERIOR DOOR AT GARAGE	
5	3' - 0"	6' - 8"	SW	EXTERIOR DOOR AT GARAGE	
6	6' - 0"	T - 0"	DBL SW	EXTERIOR GLASS DOOR AT MUDROOM	
7	2' - 10"	6' - 8"	SW	EXTERIOR DOOR AT BEDROOM 3	
8	2' - 6"	6' - 8"	SW	INTERIOR DOOR AT BATHROOM 2	
9	2' - 6"	6' - 8"	SW	INTERIOR DOOR AT BEDROOM 3	
10	2' - 6"	6' - 8"	PKT	INTERIOR DOOR AT MUDROOM/PLAYROOM	
11	2' - 6"	6' - 8"	SW	INTERIOR DOOR AT POWDER ROOM	
12	2' - 6"	6' - 8"	PKT	INTERIOR DOOR AT KITCHEN	
13	2' - 6"	6' - 8"	SW	INTERIOR DOOR AT BEDROOM 3	
14	2' - 10"	6' - 8"	SW	INTERIOR DOOR AT OFFICE/GUEST ROOM	
15	2' - 4"	6' - 8"	SW	INTERIOR DOOR AT BATHROOM 3	
16	2' - 8"	6' - 8"	SW	INTERIOR DOOR AT MASTER BEDROOM	
17	T - 0"	6' - 8"	SL	EXTERIOR GLASS DOOR AT MASTER BEDROOM	
18	2' - 6"	6' - 8"	PKT	INTERIOR PAIR OF DOORS AT MASTER BATHROOM	
19	2' - 4"	6' - 8"	SW	INTERIOR DOOR AT MASTER BATHROOM	
20	2' - 6"	6' - 8"	SW	INTERIOR DOOR AT WALK IN CLOSET	

WINDOWS

AW - AWNING F - FIXED TG - TEMPERED GLAZING
C - CASEMENT

SYM	DIMENSIONS		HD	OPERATION	DESCRIPTION	U-FACTOR	SHGC	TG
	WIDTH	HEIGHT						
B	2' - 0"	6' - 0"	T - 0"	C	AT DINING ROOM	0.35	0.25	
C	2' - 0"	6' - 0"	T - 0"	F	AT DINING ROOM	0.35	0.25	
D	5' - 0"	4' - 0"	T - 0"	SL	AT DINING ROOM	0.35	0.25	
E	3' - 0"	4' - 0"	6' - 8"	DH	AT MUDROOM	0.35	0.25	
G	4' - 0"	1' - 6"	T - 6"	AW	AT BATH 2	0.3	0.25	
H	2' - 10"	6' - 8"	6' - 8"	F	AT BEDROOM 3	0.3	0.25	
J	3' - 0"	4' - 0"	T - 0"	F	AT BEDROOM 3	0.35	0.25	
K	1' - 6"	1' - 6"	T - 0"	C	AT BEDROOM 3 CLOSET	0.35	0.25	
L	3' - 0"	6' - 0"	T - 0"	DH	AT LIVING ROOM	0.35	0.25	
M	3' - 0"	4' - 0"	T - 0"	DH	AT LIVING ROOM	0.3	0.25	TG
N	6' - 0"	4' - 0"	T - 0"	F	AT LIVING ROOM	0.3	0.25	
P	4' - 0"	4' - 0"	T - 0"	F	AT STAIRS	0.35	0.25	
Q	2' - 0"	4' - 0"	T - 0"	C	AT STAIRS	0.35	0.25	
R	3' - 0"	4' - 0"	6' - 8"	C	AT MASTER BEDROOM	0.35	0.25	
S	2' - 8"	4' - 0"	6' - 8"	C	AT MASTER BEDROOM	0.35	0.25	
T	1' - 6"	1' - 6"	6' - 8"	F	AT MASTER BATHROOM	0.35	0.25	
U	2' - 6"	4' - 0"	6' - 8"	F	AT MASTER BATHROOM	0.35	0.25	TG
V	4' - 0"	1' - 6"	6' - 8"	AW	AT BATHROOM	0.35	0.25	
W	2' - 0"	2' - 0"	6' - 8"	AW	AT OFFICE/GUEST ROOM	0.35	0.25	
X	3' - 0"	5' - 0"	T - 4"	DH	AT OFFICE/GUEST ROOM	0.35	0.25	
Y	3' - 0"	3' - 8"	T - 4"	DH	AT STAIRS	0.35	0.25	

FIELD VERIFY EXISTING AND NEW OPENINGS PRIOR TO ORDER. ARCHITECT/OWNER SHALL CARRY NO RESPONSIBILITY FOR WINDOWS THAT DO NOT FIT IN JAMB.

ALL EXTERIOR FENESTRATIONS MUST COMPLY WITH U-VALUES AND SHGC VALUES INDICATED ON THE T24 REPORT. BE LABELED PER THE MANDATORY MEASURES ON THE T24 REPORT, AND MEET STATE ENERGY REQUIREMENTS FOR TITLE 24. REFER TO T-24 SHEET FOR INFORMATION.

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SCHEDULES - DOOR & WINDOW

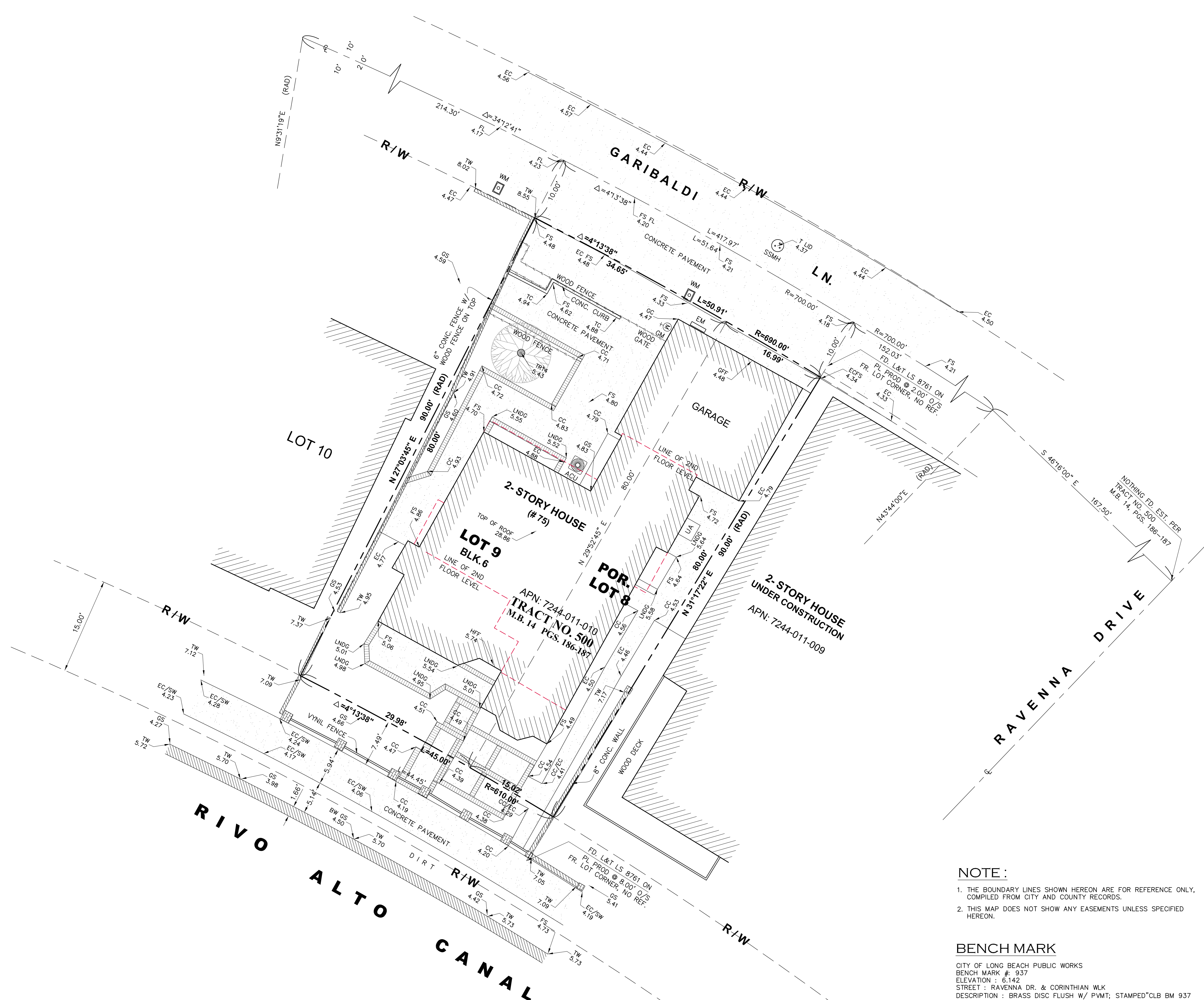
REVISIONS:

NO.	DESCRIPTION	DATE

PC#:
DB: DZ/JS
JOB#: 2020.05.22



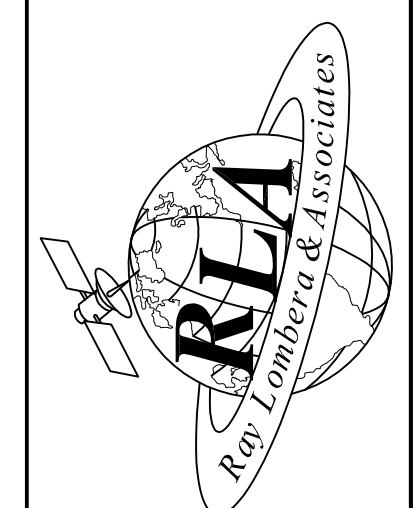
SCH1
DATE: 3/10/2021



LEGEND	
	CENTER LINE
	PROPERTY LINE
	CHAIN LINK FENCE
	WOOD FENCE
	LOT LINE
	GAS LINE
	SEWER LINE
	WATER LINE
	OVER HEAD TELEPHONE CABLE
	WOOD WALL
	CONC. WALL
	EDGE OF PWMT
	ASPHALT CONCRETE
	AIR CONDITIONING UNIT
	CONCRETE CEMENT/CONC. CORNER
	CONCRETE CEMENT CURB
	BUILDING CORNER
	BACK OF WALK/BOTTOM WALL
	CATCH BASIN
	CENTERLINE
	CHAIN LINK FENCE
	CONTROL VALVE
	COLDWATER LINE
	DRAINAGE INLET
	DRAINAGE OUTLET
	DOOR
	DRIVEWAY
	DOWNSPOUT
	ELECTRIC BOX
	EDGE OF PAVEMENT
	ELECTRIC TRANSFORMER
	ELECTRIC VAULT
	FLOOR DRAIN
	FLOW LINE
	FIRE HYDRANT
	FENCE
	FLAGPOLE / FIRE PLACE
	FINISH SURFACE
	FIRE WATER VALVE
	GARAGE FINISH FLOOR
	GAS METER
	GROUND SHOT
	GAS VALVE/GATE VALVE
	GUY WIRE ANCHOR
	HOUSE FINISH FLOOR
	IRRIGATION BOX CONTROL
	LIGHT POLE
	MANHOLE
	METAL
	OVERHANG WIRE
	PROPERTY LINE
	POWER POLE
	PULL BOX
	SANITARY SEWAGE CLEANOUT
	STREET SIGN/STOP SIGN
	STORM DRAIN CATCH BASIN
	STORM DRAIN MANHOLE
	STREET LIGHT BOX
	TOP OF BERM
	TOP OF CURB
	TOP OF WALL
	TOP OF "X"
	UNDERGROUND ACCESS
	WATER BIB
	WATER METER
	WATER VALVE
	RECORD DISTANCE
	MEASURED DISTANCE
	CALCULATED DISTANCE
	CALCULATED AND MEASURED
	POWER POLE
	GUY WIRE ANCHOR
	CATCH BASIN
	SSMH (SANITARY SEWER MANHOLE) OR UTILITY MANHOLE
	TREE
	OAK TREE
	PINE TREE
	PALM TREE
	YUCCA TREE
	FIRE HYDRANT
	PP/ELECTROLIER
	VALVE (UTILITY)
	METER
	VERTICAL & HORIZONTAL CONTROL POINT

REVISIONS:

Ray Lombera & Associates, Inc.
Land Surveying Planning Land Development
 135 S. JACKSON ST., STE. 202, GLENDALE, CALIFORNIA 91205
 TEL: (323) 257-9771 FAX: (323) 257-9865 WWW.RAYLOMBERA.COM



JOB ADDRESS:
 75 RIVO ALTO CANAL
 LONG BEACH, CA 90803

REQUESTED BY:
 ERIC & SALLY SPRINGER

CHECKED BY: _____
 R.L.
 DRAWN BY: _____
 R.D.P.
 DATE: _____
 JULY 16, 2020
 SCALE: _____
 1"=8'-0"

SHEET NO.
C-1
 SHEET 1 OF 1

NOTE:

- THE BOUNDARY LINES SHOWN HEREON ARE FOR REFERENCE ONLY, COMPILED FROM CITY AND COUNTY RECORDS.
- THIS MAP DOES NOT SHOW ANY EASEMENTS UNLESS SPECIFIED HEREON.

BENCH MARK

CITY OF LONG BEACH PUBLIC WORKS
 BENCH MARK #: 937
 ELEVATION: 6.142
 STREET: RAVENNA DR. & CORINTHIAN W/LK
 DESCRIPTION: BRASS DISC FLUSH W/ PWMT; STAMPED/CLB BM 937
 R.E. 3111 1970° 6.0' W / CL PROD / RAVENNA DR
 10.0' E / CL / PARK; 1.3' S / CURB

N= 4782.2893
 E= 4826.1744

BASIS OF BEARING

THE BEARING OF N 31°17'22" E ON NORTHEAST LINE OF POR. LOT 8, AS SHOWN IN TRACT NO. 500 M.B. 14 PAGES 186-187, WAS USED AS THE BASIS OF BEARING FOR THIS MAP.

LEGAL DESCRIPTION

LOT 9 & POR. LOT 8, BLK. 6 OF TRACT NO. 500, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 186-187 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

